



## ACTIVITY DETERMINATION


Determined by the New South Wales Land and Housing Corporation

Project No. BGZXE

### Conflict of Interest<sup>1</sup>

In this matter:

1. I have declared any possible conflict of interests (real, potential or perceived) to the Head of Housing Portfolio, Homes NSW.
2. I do not consider I have any personal interests that would affect my professional judgement.
3. I will inform the Head of Housing Portfolio, Homes NSW as soon as I become aware of a possible conflict of interest.

Signed.....

Dated 10/03/2025

Lisa Marigliano  
Executive Director, Development  
Housing Portfolio  
Homes NSW

Having regard to the Determination Recommendation Report, the Statement of Compliance and the Review of Environmental Factors for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979*, I, as a delegate of the New South Wales Land and Housing Corporation, determine that the activity proceed as described below and subject to the identified requirements set out in **Schedule 1**.

### SITE IDENTIFICATION

#### STREET ADDRESS

Unit/Street No

16, 17 and 18

Street or property name

Stapleton Parade

Suburb, town or locality

St Marys

Postcode

2760

Local Government Area(s)

Penrith City

Real property description (Lot and DP)

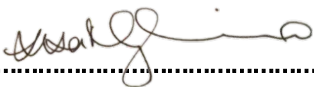
Lots 32, 33 and 34 in DP 35558

1. Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "close relative of a person" as defined in section 49(6) of the Property and Stock Agents Act 2002.

## ACTIVITY DESCRIPTION

Provide a description of the activity

Removal of trees and the construction of 18 independent living seniors housing units comprising 10 x 1-bedroom and 8 x 2-bedroom units, with associated landscaping and fencing, parking for 8 cars, and consolidation into a single lot.

Signed.....

Dated.....10/03/2025

Lisa Marigliano  
Executive Director, Development  
Housing Portfolio  
Homes NSW

## SCHEDULE 1

### IDENTIFIED REQUIREMENTS

#### PART A – Standard Identified Requirements

#### THE DEVELOPMENT

*The following identified requirements are to ensure that the residential activity is carried out in accordance with the plans / documents and any amendments arising from the Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979, Section 171 of the Environmental Planning and Assessment Regulation 2021 and the requirements of State Environmental Planning Policy (Housing) 2021.*

1. The development shall be carried out substantially in accordance with the following plans / documents as modified below and by any of the undermentioned identified requirements:

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
<b>Architectural Plans</b>				
Site Analysis	A00	A	26.09.2024	DKT Studio
Site Analysis & Block Analysis Plan	A01	A	26.09.2024	DKT Studio
Demolition Plan	A02	A	26.09.2024	DKT Studio
Site Plan	A03	A	26.09.2024	DKT Studio
Lower Ground Floor Plan	A04	A	26.09.2024	DKT Studio
Upper Ground Floor Plan	A05	A	26.09.2024	DKT Studio
First Floor Plan	A06	A	26.09.2024	DKT Studio
Roof Plan	A07	A	26.09.2024	DKT Studio
Street elevations and External Works Details	A08	A	26.09.2024	DKT Studio

Elevations	A09	A	26.09.2024	DKT Studio
Elevations, Sections and External Work	A10	A	26.09.2024	DKT Studio
Lower Ground Circulation Plan	A11	A	26.09.2024	DKT Studio
Upper Ground Circulation Plan	A12	A	26.09.2024	DKT Studio
First Floor and Bathrooms Type A, B & C Circulation Plans	A13	A	26.09.2024	DKT Studio
Cut & Fill	A14	A	26.09.2024	DKT Studio
GFA Diagram	A15	A	26.09.2024	DKT Studio
Shadow Diagram on 21 <sup>st</sup> June	A16	A	26.09.2024	DKT Studio
View From Sun	A17	A	26.09.2024	DKT Studio
Schedule of Finishes	A18	A	26.09.2024	DKT Studio
<b>Landscape Plan</b>				
Landscape Plan	L01	A	04.10.2024	RFA Landscape Architects
<b>Civils Plans</b>				
Notes and Legends	C01	7	01.10.2024	Greenview Consulting
Lower Ground Floor Drainage Plan	C02	8	22.10.2024	Greenview Consulting
Upper Ground Floor Drainage Plan	C03	7	01.10.2024	Greenview Consulting
Site Stormwater Details Sheet 1	C04	5	01.10.2024	Greenview Consulting
Site Stormwater Details Sheet 2	C05	5	01.10.2024	Greenview Consulting
Notes and Legends	ESM1	3	08.10.2024	Greenview Consulting
Environmental Site Management Plan	ESM2	3	08.10.2024	Greenview Consulting
<b>Survey Plans</b>				
Contour & Detail Survey Seniors Living Long Section	Sheet 1 of 5	6	16.10.2024	Degotardi Smith & Partners
Contour & Detail Survey Seniors Living Long Section	Sheet 2 of 5	6	16.10.2024	Degotardi Smith & Partners
Contour & Detail Survey Seniors Living Long Section	Sheet 3 of 5	6	16.10.2024	Degotardi Smith & Partners
Contour & Detail Survey Seniors Living Long Section	Sheet 4 of 5	6	16.10.2024	Degotardi Smith & Partners
Contour & Detail Survey Seniors Living Long Section	Sheet 5 of 5	6	16.10.2024	Degotardi Smith & Partners
<b>Access Report</b>				
Access Report	23174	Issue C	22.10.2024	Vista Access Architects
<b>Arborist Report</b>				
Arboricultural Impact Assessment and Tree Management Plan	8811/1251	-	04.10.2024	Redgum Horticultural
Addendum Letter Letter	8811loc	-	06.12.2024	Redgum Horticultural
<b>BASIX Report</b>				
BASIX Certificate	Cert Number: 1770591M	-	28.10.2024	Greenview Consulting
<b>BCA Report</b>				
BCA Final Report	024-222271	R03	04.10.2024	Philip Chun Building Compliance
<b>NatHERS Certificate</b>				
Nationwide House Energy Rating Scheme – Class 2 summary	Cert Number: 0011514520	-	28.10.2024	Greenview Consulting
<b>Geotechnical Investigation</b>				
Geotechnical Investigation	10530/2817	-	15.12.2014	SMEC Testing Services
<b>Traffic and Parking Impact Assessment</b>				
Traffic and Parking Impact Assessment	-	4	04.10.2024	Greenview Consulting
<b>Waste Management Plan</b>				

Waste Management Plan	-	-	September 2024	DKT Studio
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2. All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.
3. All commitments listed in the BASIX certificate and stamped plans shall be implemented.
4. All construction documentation and building work is to be certified in accordance with Section 6.28 of the *Environmental Planning and Assessment Act 1979*.
5. The land the subject of this determination shall be consolidated into a single lot. The plan of consolidation shall be lodged at the NSW Land Registry Services and shall be registered prior to the occupation of the development. A copy of the registered plan shall be provided to the Land and Housing Corporation.

## OPERATIONAL MATTERS

*The following Identified Requirements relate to the use of the site and are to ensure that the activity and its operation do not interfere with the amenity of the surrounding area.*

### Stormwater Run-off

6. Stormwater shall be collected within the site and conveyed in a pipeline to the appropriate gutter or drain under the control of Penrith City Council substantially in accordance with the approved concept stormwater drainage plans.
7. Alterations to the natural surface contours or surface absorption characteristics of the site shall not impede, increase or divert natural surface water runoff so as to cause a nuisance to adjoining property owners.
8. All driveways shall be graded in such a manner as to provide continuous surface drainage flow paths to the appropriate points of discharge.
9. To prevent water from entering buildings, surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

### Vehicular Access & Parking

10. Concrete vehicular crossings and laybacks shall be provided at the entrance/ exit to the property. The crossing and layback shall be constructed in accordance with Penrith City Council's standard requirements for residential crossings. Council shall be provided with plans for the crossings and laybacks together with the payment of any council inspection fees.
11. Particular care shall be taken in the location of vehicular crossing and/ or layback to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of the layback/ driveway shall be borne by the Land and Housing Corporation. Obsolete gutter laybacks shall be constructed as kerb in accordance with Penrith City Council's standards.

**Note:**

*It is recommended that discussion be held with the relevant authorities before construction works commence.*



12. Car parking spaces and driveways shall be constructed of concrete or other approved hard surfaced materials. The spaces must be clear of obstructions and columns, permanently line marked and provided with adequate manoeuvring facilities. The design of these spaces must comply with AS 2890.1.

### Site Works

13. All soil erosion and sediment control measures required to be put in place prior to the commencement of construction works shall be maintained during the entire period of the works until all the disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set-out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).
14. An appropriately qualified person shall design retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

### Building Siting

15. All buildings shall be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and, if they do, obtain full details of such prior to construction commencing.

### Smoke Detection System(s)

16. Smoke detection systems shall be installed throughout the building(s) in accordance with requirements of Clause E2.2a of the Building Code of Australia. Detectors and alarms shall comply with AS 3786 and AS 1670 and must:
  - i. be connected to a permanent 240V power supply; and
  - ii. be provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

### Site Soil Contamination

17. If the site is identified as being potentially affected by soil contamination, it shall be inspected by a suitably qualified person to identify any contaminated or hazardous material present. A proposal for remediation shall be prepared, which may include preparation of a Remedial Action Plan, and remediation shall be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, shall be obtained from a qualified expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report shall be provided to the Land and Housing Corporation on completion of the remediation works.

### Landscaping

18. Landscaping shall be carried out substantially in accordance with the approved landscape plans and maintained for a period of 12 months by the building contractor. Penrith City Council shall be consulted in relation to the planting of any street trees.
19. All scheduled plant stock shall be pre-ordered, prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The

builder shall provide written confirmation of the order to the Land and Housing Corporation.

### **Tree Removal**

20. Removal of trees within the boundaries of the site, including the tree identified as T7, is to be carried out in accordance with the trees shown for removal on the approved landscape plan and Arboricultural Impact Assessment Report and no other trees shall be removed without further approval(s).

### **Fencing**

21. All front fencing and gates shall be constructed wholly within the boundaries of the site. Any gates associated with the fencing shall swing inwards towards the site.

### **Provision of Letterbox Facilities**

22. Suitable letterbox facilities are to be provided in accordance with Australia Post specifications.

### **Public Liability Insurance**

23. A valid public liability insurance policy of at least \$10M shall be maintained throughout the construction works by the contractor.

### **PRIOR TO ANY WORK COMMENCING ON THE SITE**

*The following Identified Requirements are to be complied with prior to any work commencing on the site.*

### **Disconnection of Services**

24. All services that are required to be disconnected shall be appropriately disconnected and made safe prior to commencement of construction works. The various service authorities shall be consulted regarding their requirements for the disconnection of services.
25. All existing services within the boundary to remain live shall be identified, pegged and made safe.

### **Utilities Service Provider Notification**

26. The construction plans shall be submitted to the appropriate water utility's office (e.g. Sydney Water office) to determine whether or not the development will affect the utility's sewer and water mains, stormwater drains and any easements.

**Note:**

*If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.*

### **Council Notification**

27. Penrith City Council shall be advised in writing, of the date it is intended to commence work. A minimum period of **5** working days notification shall be given.

## Site Safety

28. A sign shall be erected in a prominent position on any site on which building work is being carried out:
- (a) showing the name, address and telephone number of the responsible Land and Housing Corporation officer for the work, and
  - (b) showing the name of the principal contractor (if any) and a telephone number on which that person may be contacted outside working hours, and
  - (c) stating that unauthorised entry to the work site is prohibited.

The sign shall be maintained while the work is being carried out but shall be removed when the work has been completed.

**Note:**

*This requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.*

29. A minimum 1.8m high security fence or Class A / Class B (overhead) hoarding must be erected between the work site and any public place prior to construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when construction work is not in progress or the site is otherwise unoccupied.

**Note:**

*Approval from the relevant roads authority will be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.*

30. No building materials are to be stored on the footpath or roadway.

## Site Facilities

31. The following facilities shall be installed on the site:
- (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons or part thereof employed at the site. Each toilet provided shall be a standard flushing toilet and shall be connected to a public sewer or if connection to a public sewer is not practicable, to an accredited sewerage management facility provided by Penrith City Council or if this is not practicable to some other council approved management facility.
  - (b) Adequate refuse disposal methods and builders storage facilities. Builders' wastes, materials or sheds shall not be placed on any property other than that which this approval relates to.
32. Access to the site shall only be provided via an all-weather driveway on the property and is not to be provided from any other site

## Protection of Trees

33. Trees and other vegetation that are to be retained shall be protected prior to the commencement of works and for the duration of the construction period in accordance with the details provided in the Arboricultural Impact Assessment Report.

## Waste Management

34. A final Waste Management Plan shall be prepared and submitted to the Land and Housing Corporation by the building contractor prior to the commencement of construction. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.

#### **PRIOR TO ANY CONSTRUCTION WORK COMMENCING ON SITE**

*The following Identified Requirements are to be complied with prior to any construction works occurring on the site, excluding demolition.*

##### **Service Authority Clearances**

35. A compliance certificate, or other evidence, shall be obtained from Sydney Water, confirming service availability prior to work commencing.

**Note:**

*Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.*

36. A written clearance from an electricity supply authority stating that electrical services are available to the site, or that arrangements have been entered into for the provision of services to the site, shall be obtained prior to work commencing.
37. A certificate from an approved telecommunications carrier certifying that satisfactory arrangements have been made for the provision of underground telephone services, to the site and to each dwelling, shall be obtained prior to work commencing.
38. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier to certify that satisfactory arrangements have been made to ensure the provision of underground gas services to each dwelling in the development shall be obtained prior to work commencing.

##### **Stormwater Disposal**

39. Detailed stormwater drainage plans, substantially in accordance with the approved concept stormwater drainage plans, shall be prepared and submitted to the Land and Housing Corporation. Any on-site detention system shall be designed in accordance with the relevant catchment authority's requirements (e.g. the Upper Parramatta River Catchment Trust On-site Detention Handbook) and/ or Penrith City Council's drainage code.

#### **DURING CONSTRUCTION WORKS**

*The following Identified Requirements are to be complied with whilst construction works are occurring on the site.*

##### **Landfill**

40. Where site filling is necessary, a minimum of 95% standard compacting shall be achieved and certified by a NATA registered Soils Lab.
41. Land fill materials must satisfy the following requirements:

- i. be Virgin Excavated Natural Matter (VENM);
- ii. be free of slag, hazardous, contaminated, putrescible, toxic or radio-active matter; and
- iii. be free of industrial waste and building debris.

## **Heritage**

- 42. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act 1977* and *National Parks and Wildlife Act 1974*, respectively. Should any relics be uncovered during the course of the approved works, work must cease immediately in the affected area. Subsequently, in cases where historical or indigenous items have been uncovered, the Department of Climate Change, Energy, the Environment and Water must be contacted.
- 43. All workers / contractors on the site shall be informed of their obligations, under the *Heritage Act* and *National Parks and Wildlife Act 1974*, that it is illegal to disturb, damage or destroy a relic without the prior approval of the Department of Climate Change, Energy, the Environment and Water.

## **Survey Reports**

- 44. Survey reports shall be submitted by the building contractor to the Land and Housing Corporation prior to the placement of the footings / slab and on completion of the dwellings to verify the correct position of the structures in relation to the allotment boundaries.

## **Hours of Construction / Civil Work**

- 45. Construction/ civil work shall only occur on the site between the hours of 7am to 5pm Monday to Saturday with no work permitted on Sundays or public holidays.

## **Excavation & Backfilling**

- 46. All excavations and backfilling associated with the erection of building(s) shall be executed safely and in accordance with appropriate professional standards. All such work shall be guarded and protected to prevent it from being dangerous to life or property.

## **Pollution Control**

- 47. Any noise generated during the construction of the development shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines, published by the former Department of Environment and Climate Change.
- 48. No fires shall be lit or waste materials burnt on the site.
- 49. No washing of concrete forms or trucks shall occur on the site.
- 50. Any contamination / spills on the site during construction works shall be actively managed and reported immediately to appropriate regulatory authorities to minimise any potential damage to the environment.
- 51. Dust generation during construction shall be controlled using regular control measures such as on site watering or damp cloth fences.

52. All vehicles transporting loose materials and travelling on public roads shall be secured (i.e. closed tail gate and covered) to minimise dust generation.
53. Non-recyclable waste and containers shall be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan.

### **Impact of Construction Works**

54. The Land and Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.
55. Care shall be taken to prevent any damage to adjoining properties. The building contractor shall be liable to pay compensation to any adjoining owner if, due to construction works, damage is caused to such adjoining property.

### **Termite Protection**

56. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1, shall be placed on the underside and in penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

- (a) the method of protection.
- (b) the date of installation of the system.
- (c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label.
- (d) the need to maintain and inspect the system on a regular basis.

### **PRIOR TO OCCUPATION OF THE DEVELOPMENT**

*The following Identified Requirements are to be complied with prior to the occupation of the development.*

#### **General**

57. The use or occupation of the development shall not commence until all the Identified Requirements of this determination have been complied with.

#### **Council Infrastructure Damage**

58. The cost of repairing any damage caused to Penrith City Council's assets in the vicinity of the site as a result of construction works shall be met in full by the building contractor.

#### **Stormwater Drainage**

59. Prior to occupation, a Work As Executed Plan shall be prepared by the building contractor clearly showing all aspects of the constructed stormwater drainage system. The plan shall demonstrate general compliance with the approved concept stormwater drainage plan(s) and shall include:

- sufficient levels and dimensions to verify the constructed storage volumes; and
- location and surface levels of all pits; and
- invert levels of the internal drainage lines, orifice plates fitted and levels within the outlet control pits; and
- finished floor levels of all structures; and
- verification that any required trash screens have been installed; and
- locations and levels of any overland flow paths; and
- verification that any drainage lines are located wholly within easements, where applicable.

The Work-As-Executed Plan information shall be shown on the final civil works drawings.

## **PART B – Additional Identified Requirements**

### **60. Air Conditioning**

#### Design and Installation

Air conditioning units as illustrated on architectural plans must be designed, specified and installed to ensure that they comply with the requirements of the Protection of the Environment Operations (Noise Control) Regulations 2017 and must not emit a noise that exceeds 5dB(A) above the ambient background noise level measured at any property boundary. Acoustic treatment may be required to ensure this is achieved.

Certification, from an appropriately qualified acoustic consultant, shall be provided at construction documentation stage that the air conditioning units can comply with this requirement.

Further certification, from an appropriately qualified acoustic consultant, shall be provided prior to occupation that the installed air conditioning units comply with this requirement.

#### On-Going

The use of any air-conditioning unit must comply with the requirements of the Protection of the Environment Operations (Noise Control) Regulations 2017 and must not:

- (a) emit a noise that is audible within a habitable room in any adjoining residence (regardless of whether any door or window to that room is open);
  - (i) before 8am and after 10pm on any Saturday, Sunday or Public Holiday; or
  - (ii) before 7am or after 10pm on any other day;
- (b) emit a noise that exceeds 5dB(A) above the ambient background noise level measured at any property boundary.

### **61. Solar (photovoltaic electricity generating) energy system**

Where a solar energy system is proposed it must satisfy the following requirements:

- (a) the system is installed in accordance with the manufacturer's specifications or by a person who is accredited by the Clean Energy Council for the installation of photovoltaic electricity generating systems, and
- (b) the solar energy system must not reduce the structural integrity of any building to which the system is attached, and
- (c) the system must not involve mirrors or lenses to reflect or concentrate sunlight, and

- (d) the system must not protrude more than 0.5m from the wall or roof (as measured from the point of attachment), and
- (e) the system is installed no less than 3m from any adjoining property boundary.

Certification from an appropriately person shall be provided at construction documentation stage that the solar energy system/s are capable of complying with this requirement.

### Specific Requirements for Seniors Housing

62. The independent living units shall comply with the accessibility and useability standards referenced in section 85 and set out in Schedule 4 of *State Environmental Planning Policy (Housing) 2021* (as made immediately prior to the making of *State Environmental Planning Policy Amendment (Housing) 2023*).

**Note:**

*This requirement does not apply to the provisions set out under sections 2, 7-13 and 15-20 of Schedule 4 for an independent living unit, or part of such a unit, that is located above the ground floor.*

63. Only the following kinds of people shall be accommodated in the approved development:
- (a) seniors or people who have a disability; or
  - (b) people who live within the same household with seniors or people who have a disability; or
  - (c) staff employed to assist in the administration and provision of services to the seniors housing development.

**Note:**

*It should be noted that 'seniors', as defined in the Housing SEPP, are any of the following:*

- (a) people aged 60 or more years,
- (b) people who are resident at a facility at which residential care (within the meaning of the Aged Care Act 1997 of the Commonwealth) is provided, and
- (c) people who have been assessed as being eligible to occupy housing for aged persons provided by a social housing provider.

A restriction as to user shall be registered against the title of the property, prior to occupation, in accordance with Section 88E of the Conveyancing Act 1919 limiting the use of any accommodation to the kinds of people referred to above and that the dwellings cannot be subdivided.

64. Pathway lighting shall be designed to provide a minimum of 20 lux at ground level and be located to avoid glare for pedestrians and adjacent dwellings.
65. Access to, and within, the site shall be provided in accordance with AS 1428.1 so that a person using a wheelchair can use common areas and common facilities associated with the activity.
66. The pedestrian barriers at each end of Stapleton Lane are to be adjusted to suit wheelchair users.

**Note:**

*The responsible officer at the Penrith City Council shall be contacted regarding council's specifications and any necessary approvals.*



67. Entry doors to units shall be provided with door viewers to enable residents to view approaches to their units without the need to open the door.
68. **Maximum building height –**
- The maximum building height including all structures and fixtures and excluding the lift overrun, shall not exceed 9.5m.
  - The maximum height of the lift overrun shall not exceed 11.5m.

Upon completion of the walls, a survey must be conducted to ensure compliance.

#### Site Specific Requirements

69. **Convex mirror –** Convex mirror(s) are to be provided at the curved section of the driveway in accordance with the recommendations contained in the Traffic and Parking Impact Assessment.
70. **Landscape Plan and replacement tree planting –** The Landscape Plan is to be updated to show removal of all trees within the site and the provision of a super advanced Tallowood (100 or 200 litre bag size), or suitable alternative as recommended by the project Landscape Architect, to be planted in the same location as T7.
71. **Discharge of upstream overland flow to Lethbridge Street –** If the rate of discharge of the upstream overland flow to the kerb and gutter in Lethbridge Street exceeds 25L/s, the upstream overland flow is to be captured within the site and piped to a kerb inlet pit within Lethbridge Street.
72. **Geotechnical investigations –** Additional geotechnical investigations/ inspections are to be carried out prior to and during construction to verify ground conditions.
73. **Waste collection –** LAHC is to consult with Penrith City Council regarding the utilisation of Council's Waste Collection Service and enter into necessary agreements.

#### ADVISORY NOTES

- i. Approval of this development activity does not imply or infer compliance with Section 23 of the *Disability Discrimination Act 1992*. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.
- ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at [www.1100.com.au](http://www.1100.com.au) or by dialling 1100.



SENIORS LIVING DEVELOPMENT at 16-18 STAPLETON PARADE ST MARYS - BGZXE

COMPLIANCE TABLE				
CONTROL		REQUIRED	PROPOSED	COMPLIANCE
HEIGHT	Penrith LEP 2010	Max.8.5m	9.5m	NO
	Housing SEPP s.108B(1)(b)	Max. 9.5m Servicing equipment up to 11.5m	9.5m	YES
	Housing SEPP s.84(2)(c)(iii)	Storeys above 2 storeys are set back within planes that project at an angle of 45 degrees inwards from all side and rear boundaries of the site.	Third Storey facing Lethbridge St is set back within planes that projects at an angle of 45 deg from side/rear boundary	YES
	Housing SEPP s.84(3)(a)(b)(c)	(a) be fully integrated into the design of the roof or contained and suitably screened from view from public places, and (b) be limited to an area of no more than 20% of the surface area of the roof, and (c) not result in the building having a height of more than 11.5m.	Roof fully within 9.5m except for lift shaft at 9.78m	YES
			1%	YES
			9.78m	YES
FSR	Penrith LEP 2010	None - N/A		
	Housing SEPP s.108(c)	0.5:1	0.745:1	NO
FRONT SETBACK	Penrith DCP 2014	Primary frontage (to Stapleton Pde) Min 5.5m	5.9m	YES
	2.4.5 (MDH) & 2.5.6 (RFB)	Pergolas and verandahs may encroach – 4.5m min setback permitted to the face of the verandah and max 50% of elevation (RFB's) Secondary frontage (to Lethbridge St) Min 5.5m	Balconies encroach 0.3m to a 5.3m setback on Stapleton St Balconies are within setback on Lethbridge St 7.858m	YES
				YES
SIDE SETBACKS	Penrith DCP 2014 2.4.6 (MDH) 2.5.7 (RFB)	Min 2m along not more than 50% of any boundary  Zero setbacks not permissible - 'provide for reasonable landscaped separation...	3.47m	YES
REAR SETBACKS	Penrith DCP 2014 2.4.5 (MDH) 2.5.6 (RFBs)	Min 6m Min 6m for 2 storey building	8.365m	YES
LANDSCAPED AREA	Housing SEPP s.108(2)(d)	Lesser of - 35 sqm per dwelling or 30% of site area	665.9m2 equivalent to 35% of site area	YES
DEEP SOIL	Housing SEPP s.108(2)(f)	Min. 15% of site area (126.4 m²) 65% at rear min. 3m dimension	326.5m2 equivalent to 17.3% of site area	YES
			203.5m2	YES
SOLAR ACCESS	Housing SEPP s.108(2)(g)	Min. 70% of dwellings receive 2 hours direct solar access between 9am - 3pm at mid-winter in living rooms and POS.	15 dwellings of 18 = 83%	YES
CAR PARKING	Car parking Housing SEPP 19(e) (accessible area rates)	Car parking (accessible area rates): 0.4 spaces x 1 bed 0.5 spaces x 2 bed Including at least 1 in 5 spaces to be accessible (as per Housing SEPP s.108(2)(i))	(0.4 x 10 of 1 bed) 4 + (0.5 x 8 of 2 bed) 4 = 8 8 spaces provided Accessible spaces 4	YES YES
PRIVATE OPEN SPACE	Housing SEPP s.108(2)(h)&(i)	Ground floor dwellings – Min.15m² & at least 1 POS with min 3m dim accessible from a living area	All Ground Floor dwellings at ground level has a min 15m² POS with min 3m dim accessible from a living area	YES
		Above ground floor 1 bed dwellings– Min 6m², with min 2m dim - Note: LAHC Design Reqs too – balconies to 1 beds, min. 8m² + additional 2m² = 10m² required	All above ground floor 1 bed dwellings have a balcony with a min 8m² with a min 2m dim + additional 2m²	YES
		Above ground floor 2 bed dwellings– Min 10m², with min 2m dim - Note: LAHC Design Reqs too - additional 2m² = 12 m² required	All above ground floor 2 bed dwellings have a balcony with a min 10m² with a min 2m dim + additional 2m²	YES
MIN. INTERNAL AREA	LAHC Dwelling Requirements	Studio 35m² 1 bedroom 50m² 2 bedroom 70m² 3 bedroom 90m²	All 1 bed dwellings have an internal area above 50m² All 2 bed dwellings have an internal area above 70m²	YES
WASTE MANAGEMENT	Penrith DCP	Council's Multi Unit Housing Waste Management Guidelines Residual Waste – 1 x 240L bin for every 2 dwellings Recycling Waste – 1 x 240L bin for every 2 dwellings	18 dwellings  Residual Waste - 9 bins  Recycling Waste - 9 bins	YES YES
STORAGE	ADG (Good Guidance)	Studio 4m² 1 bedroom 6m² 2 bedroom 8m² 3 bedroom 10m²	All 1 bed dwellings have a storage volume of more than 6m³ All 2 bed dwellings have a storage volume of more than 8m³	YES YES
NATURAL VENTILATION	ADG (Good Guidance)	60% of dwellings	14 dwellings of 18 = 77%	YES

	GROOS FLOOR AREA m2	1 BEDROOM UNIT	2 BEDROOM UNIT	TOTAL UNITS
LOWER GROUND	231	2	1	3
UPPER GROUND FLOOR	619.2	5	3	8
FIRST FLOOR	558.7	3	4	7
TOTAL	1408.9	10	8	18

LOT 32,33 and 34 in DP 35558



CORNER STAPLETON AND LETHBRIDGE STREET PERSPECTIVE

DRAWING SCHEDULE:

ARCHITECTURAL	
COVER PAGE	A00
SITE ANALYSIS	A01
DEMOLITION PLAN	A02
SITE PLAN	A03
LOWER GROUND FLOOR PLAN	A04
UPPER GROUND FLOOR PLAN	A05
FIRST FLOOR PLAN	A06
ROOF PLAN	A07
STREET ELEVATIONS AND EXTERNAL WORKS DETAILS	A08
ELEVATIONS	A09
ELEVATION - SECTIONS	A10
LOWER GROUND FLOOR CIRCULATION PLAN	A11
UPPER GROUND FLOOR CIRCULATION PLAN	A12
FIRST FLOOR CIRCULATION PLAN	A13
CUT AND FILL PLAN	A14
GFA DIAGRAMS	A15
SHADOW DIAGRAMS	A16
VIEW FROM THE SUN	A17
SCHEDULE OF FINISHES	A18
CIVIL	
NOTES AND LEGENDS	C01
LOWER GROUND FLOOR DRAINAGE PLAN	C02
UPPER GROUND FLOOR DRAINAGE PLAN	C03
ENVIROMENTALSITE MANAGEMENT	
NOTES & LEGEND	ESM1
NVIROMENTAL SITE MANAGEMENT	ESM2
LANDSCAPE	
LANDSCAPE PLAN	L01
SURVEY	
DETAIL AND LEVEL SURVEY	SHT 1

Homes NSW

APPROVED PLANS  
PART 5 (DIV 5.1) ACTIVITY DETERMINATION  
Date: 12 March 2025  
Project No.: BGZXE

Determined by the New South Wales Land and Housing Corporation

Certificate No. 0011514520

Assessor name Dean Gorman  
Accreditation No. DMN13/1645  
Property Address 16-18 Stapleton Parade, St Marys  
NSW 2760  
hstar.com.au/GM/Germane/13/1645/202401



LOCATION MAP

CLIENT:



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PROJECT:

SENIORS LIVING DEVELOPMENT  
at  
16-18 Stapleton Pde, St Marys - BGZXE  
Lot 32,33 &34 - DP 35558

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PART 5 ACTIVITY SUBMISSION  
SITE ANALYSIS

DRAWN BY

DA

PROJECT No.

BGZXE

DATE

SEPTEMBER 2024

REVISION:

A

APPROVED BY

ET

DRAWING:

A00

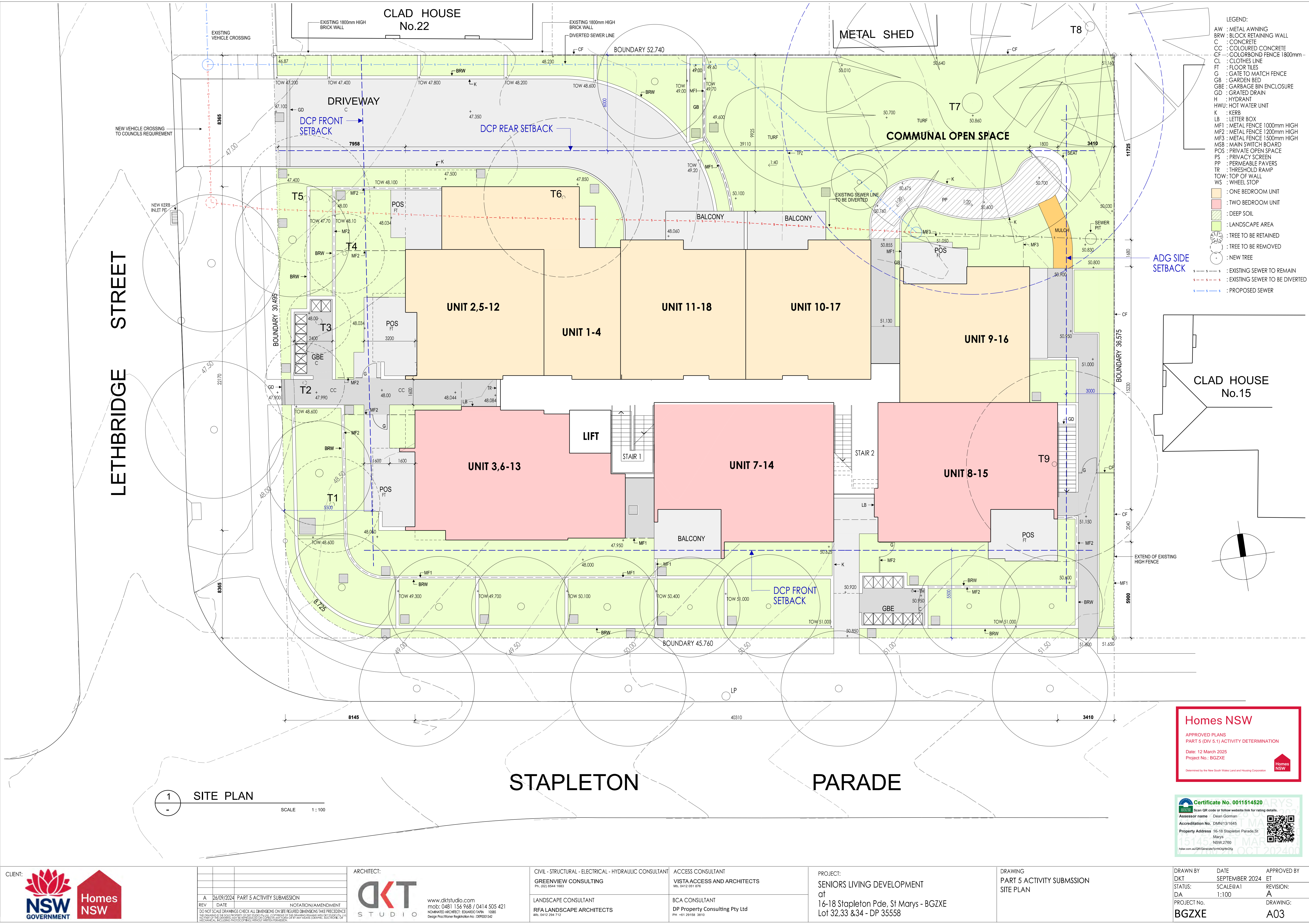




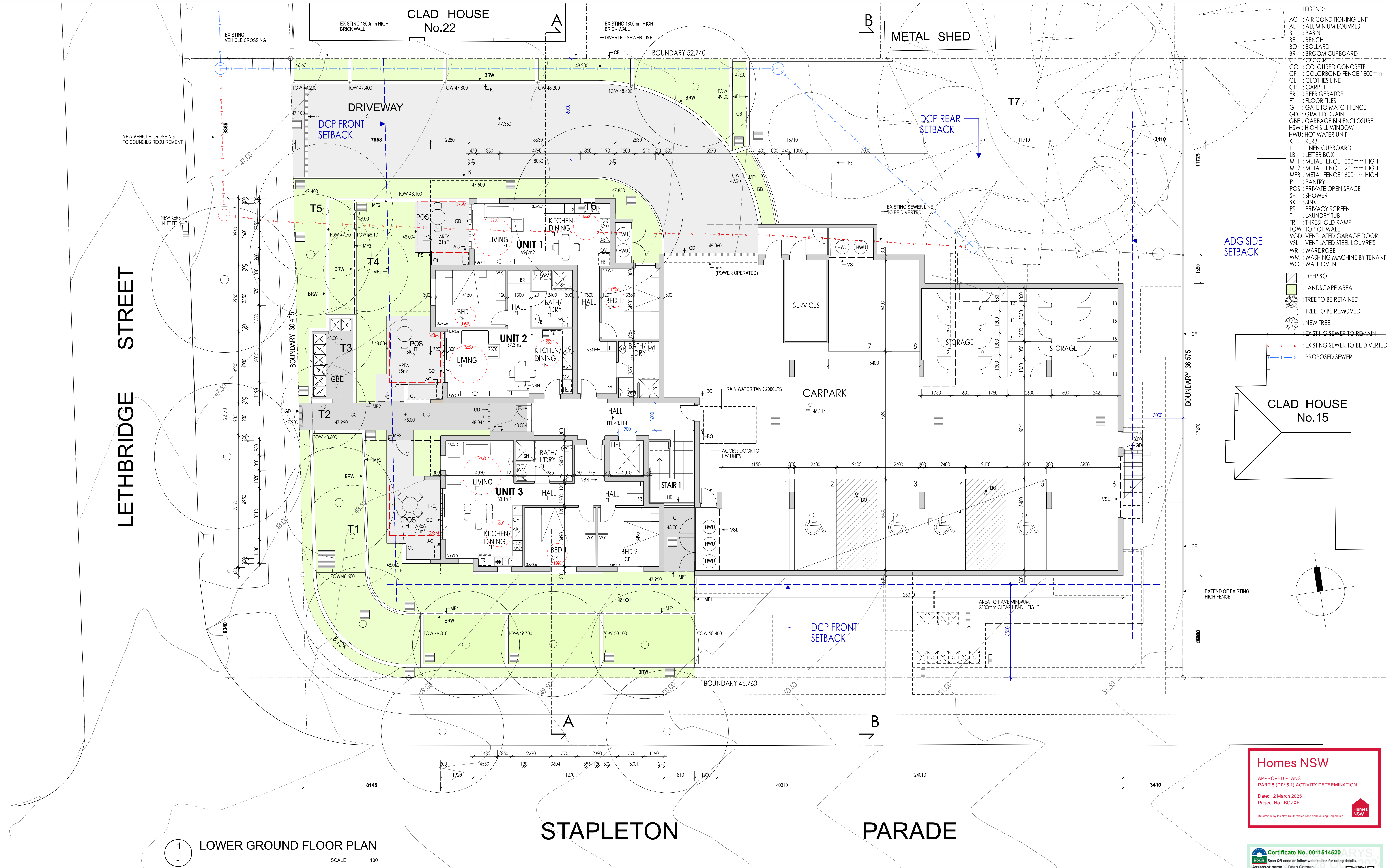












1 LOWER GROUND FLOOR PLAN  
SCALE 1:100

**Homes NSW**

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PART 5 (DIV 5.1) ACTIVITY DETERMINATION

Date: 12 March 2025  
Project No.: BGZXE

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**Certificate No. 0011514520**

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Accreditation No: DMN131645  
Property Address: 16-18 Stapleton Parade, St Marys NSW 2578  
NSW 2578

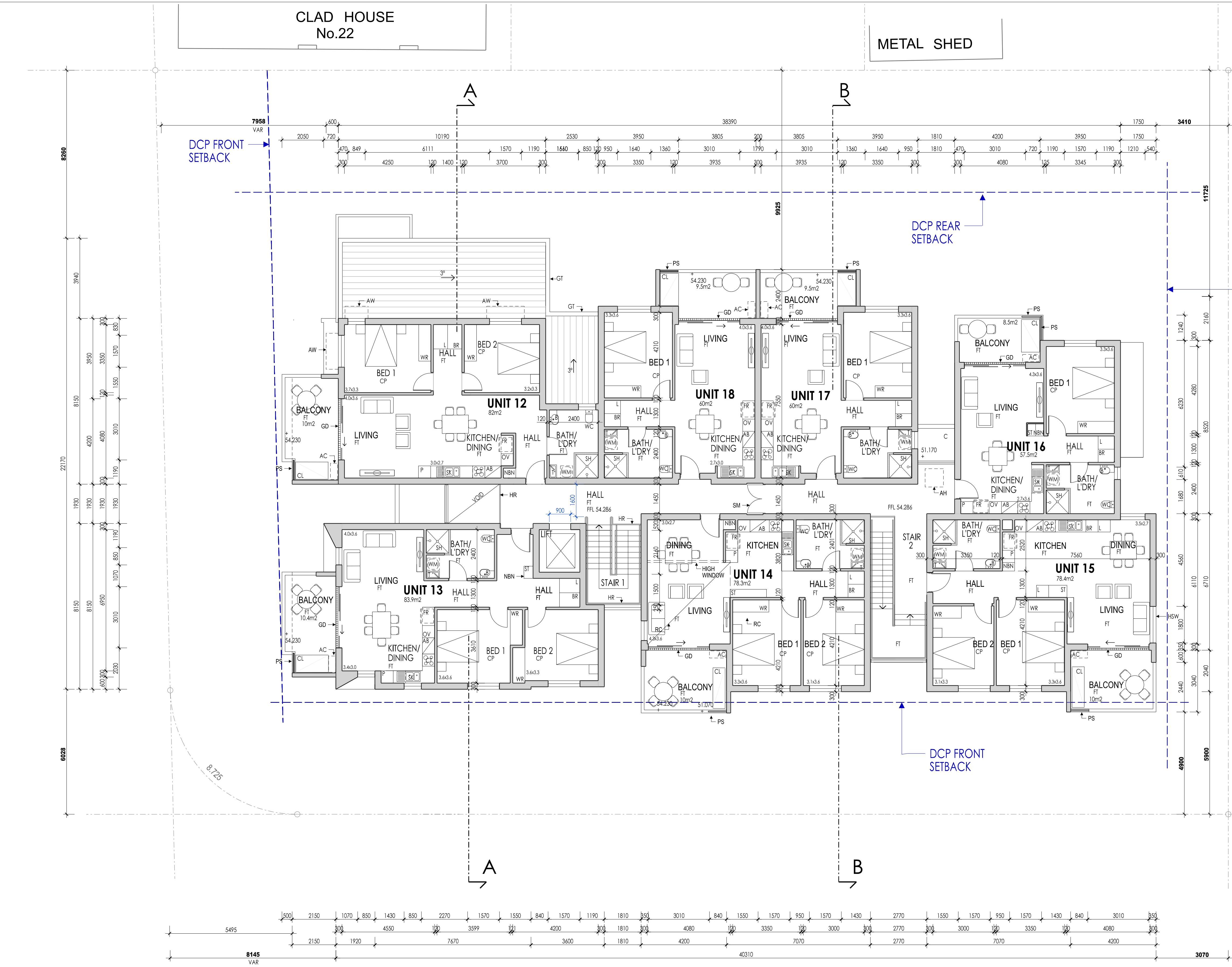


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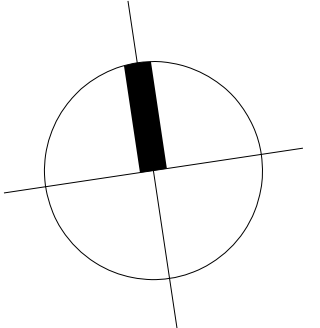
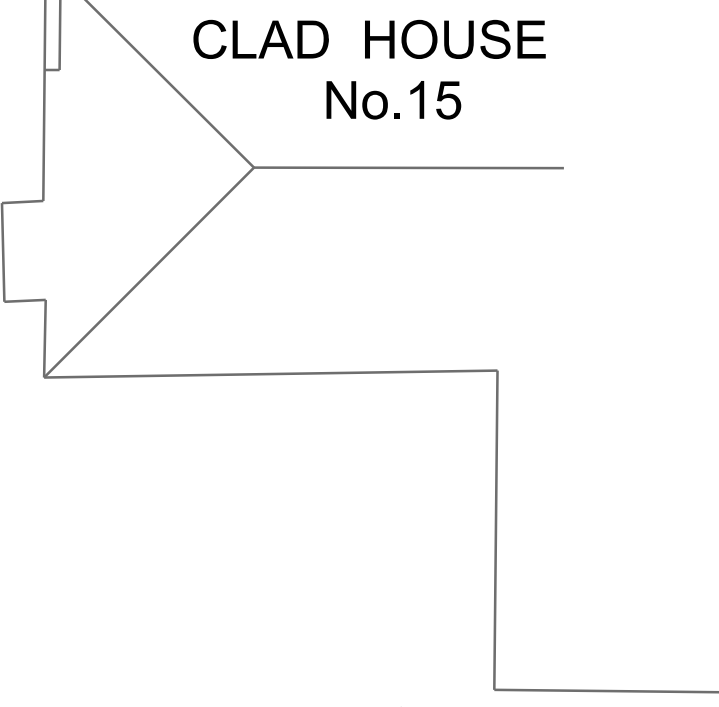






1 FIRST FLOOR PLAN  
SCALE 1 : 100

- LEGEND:
- AC : AIR CONDITIONING UNIT
  - AL : ALUMINIUM LOUVRES
  - B : BASIN
  - BE : BENCH
  - BO : BOLLARD
  - BR : BROOM CUPBOARD
  - C : CONCRETE
  - CC : COLOURED CONCRETE
  - CF : COLORBOND FENCE 1800mm
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  - CP : CARPET
  - FR : REFRIGERATOR
  - FT : FLOOR TILES
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  - L : LINEN CUPBOARD
  - LB : LETTER BOX
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  - WM : WASHING MACHINE BY TENANT
  - WO : WALL OVEN
- SYMBOLS:
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  - LANDSCAPE AREA
  - TREE TO BE RETAINED
  - TREE TO BE REMOVED
  - NEW TREE
  - EXISTING SEWER TO REMAIN
  - EXISTING SEWER TO BE DIVERTED
  - PROPOSED SEWER



Homes NSW

APPROVED PLANS  
PART 5 (DIV 5.1) ACTIVITY DETERMINATION

Date: 12 March 2025  
Project No.: BGZXE

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Certificate No. 0011514520

Assessor name: Dean Gorman

Accreditation No: DMN13/1645

Property Address: 16-18 Stapleton Parade, St Marys, NSW 2570



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PROJECT:

SENIORS LIVING DEVELOPMENT  
at  
16-18 Stapleton Pde, St Marys - BGZXE  
Lot 32.33 & 34 - DP 35558

DRAWING

PART 5 ACTIVITY SUBMISSION  
FIRST FLOOR PLAN

DRAWN BY	DATE	APPROVED BY
DKT	SEPTEMBER 2024	ET
STATUS:	SCALE@A1	REVISION:
DA	1:100	A
PROJECT No.		DRAWING:
BGZXE		A06



[illegible]

STAPLETON PARADE





- ALUMINIUM RAILING
- AWNING
- BLOCK RETAINING WALL
- CONCRETE
- CONCRETE BLOCKS
- COLOURED CONCRETE
- COLORBOND FENCE 1800mm
- COLORBOND GUTTER
- TRANSLUCENT GLASS BALUSTRADE
- GARBAGE BIN ENCLOSURE
- CEMENT RENDER
- DOWNPIPE
- FACE BRICKWORK
- HIGH WINDOW
- GATE TO MATCH FENCE
- LETTER BOX
- METAL CLADDING
- METAL FENCE
- PRIVACY SCREEN



Determined by the New South Wales Land and Mineral Commission



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**Assessor name** Dean Gorman  
**Accreditation No.** DMN/13/1645  
**Property Address** 16-18 Stapleton Parade, St Marys  
 NSW 2760



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STUDIO

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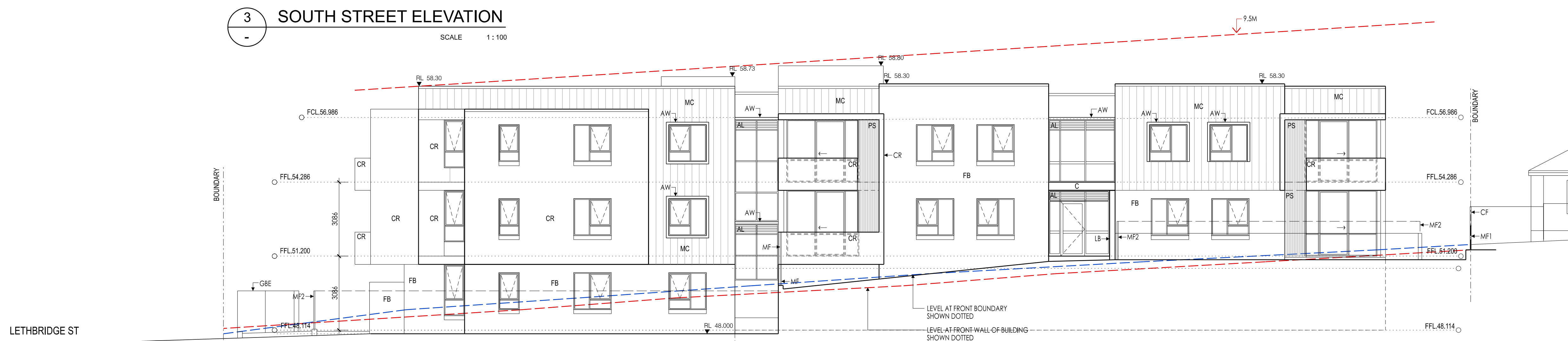
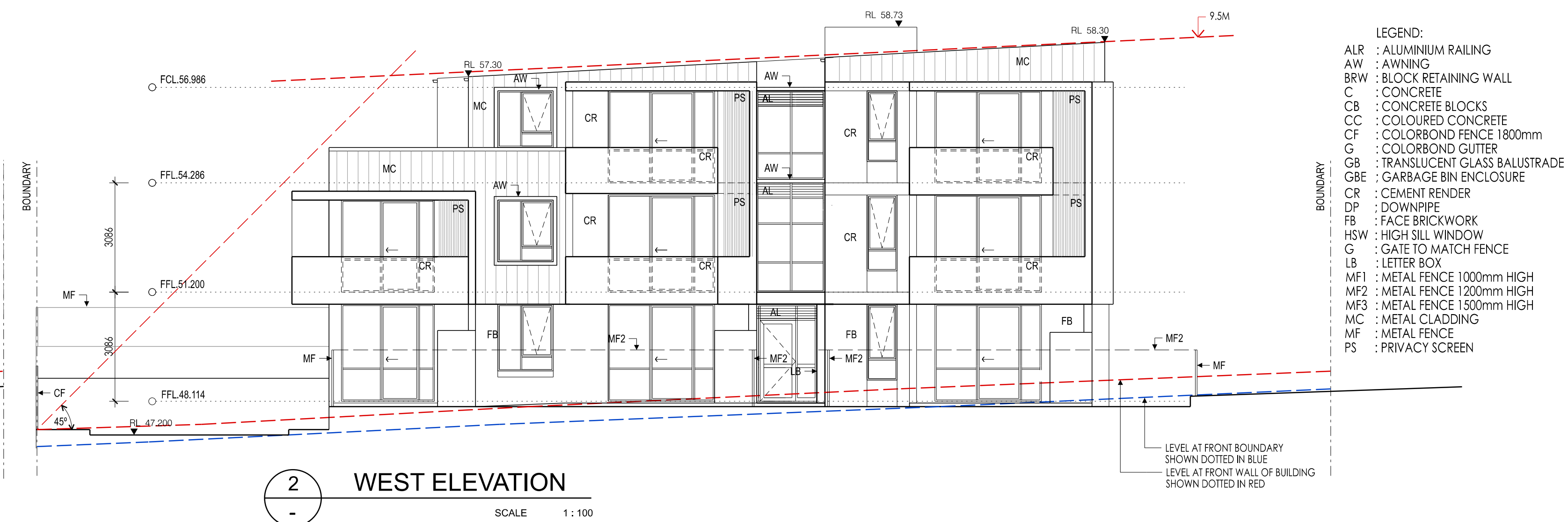
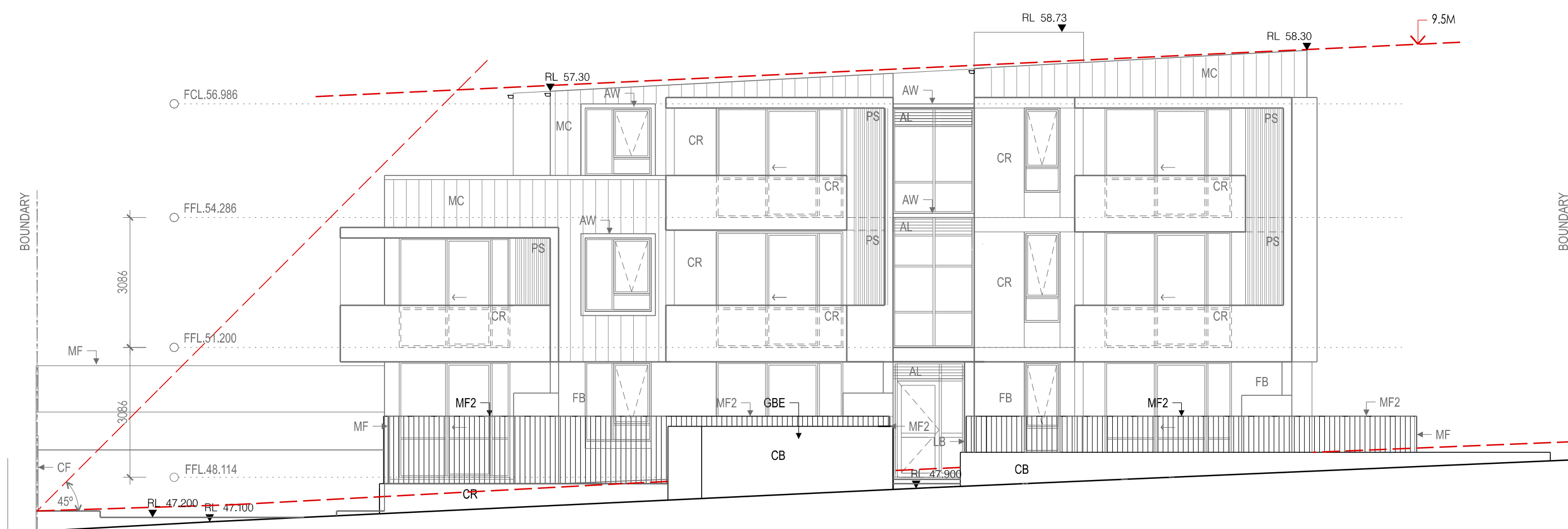
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PROJECT No. BGZXE		DRAWING: A08





**Homes NSW**

**APPROVED PLANS**  
**PART 5 (DIV 5.1) ACTIVITY DETERMINATION**

**Date:** 12 March 2025  
**Project No.:** BGZXE

Determined by the New South Wales Land and Housing Corporation

**Certificate of Accreditation**  
Certificate No. **0011514520**

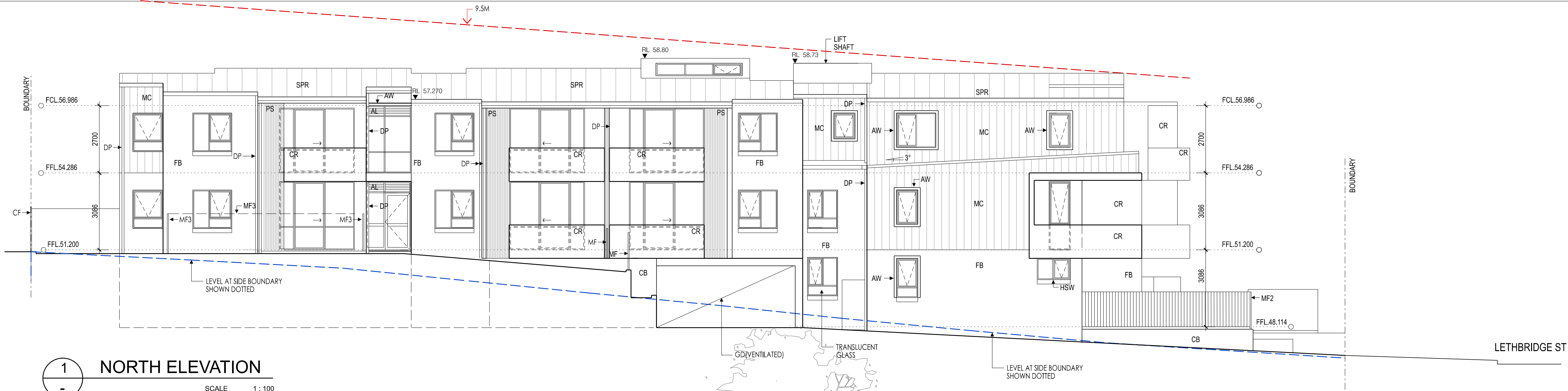
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**Assessor's name** Dean Gorman

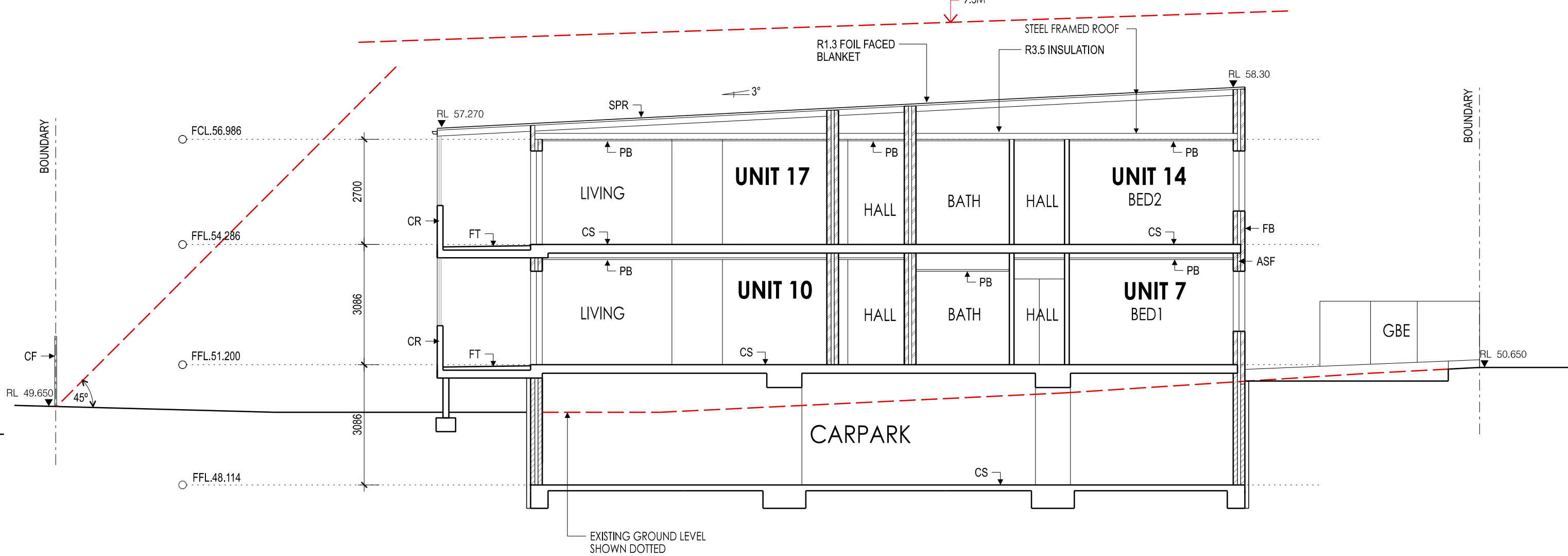
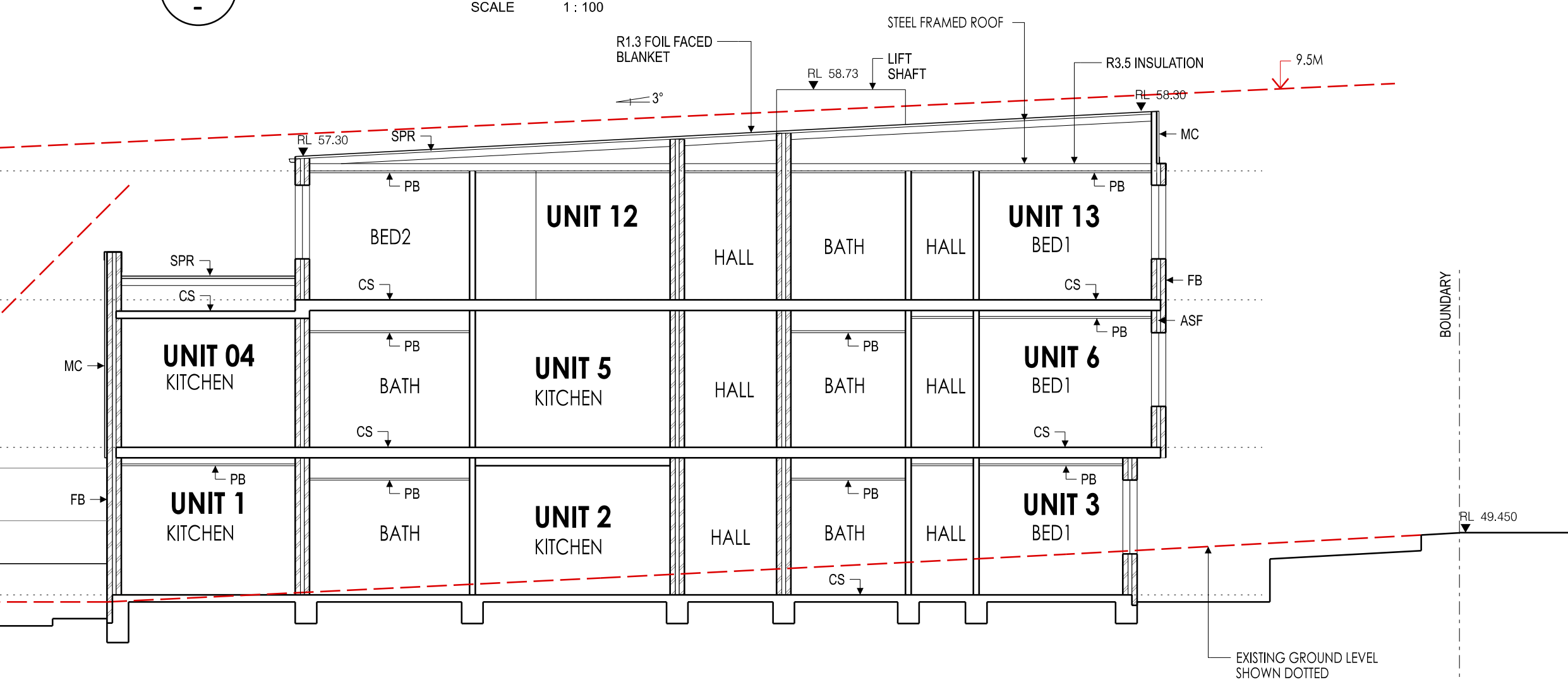
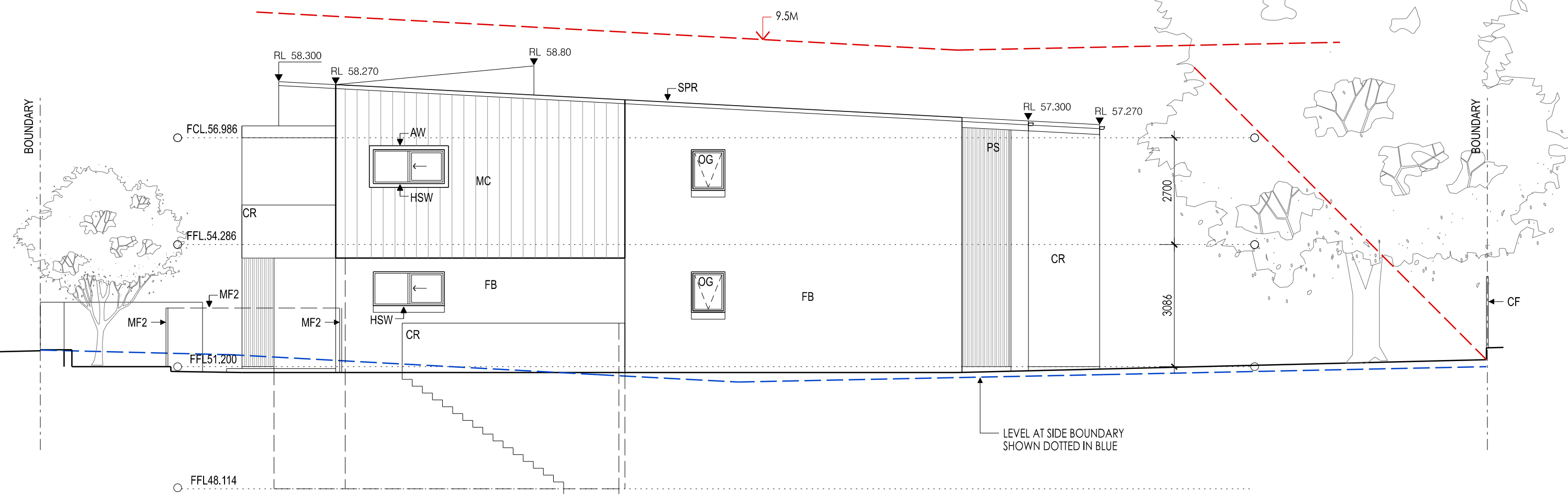
**Accreditation No.** DMN/13/1645

**Property Address** 16-18 Stapleton Parade, St Marys  
NSW 2760

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- LEGEND:
- ALR : ALUMINIUM RAILING
  - ASF : AMETALIN SARKING FOIL
  - AW : AWNING
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  - MF1 : METAL FENCE 1000mm HIGH
  - MF2 : METAL FENCE 1200mm HIGH
  - MF3 : METAL FENCE 1500mm HIGH
  - MC : METAL CLADDING
  - MF : METAL FENCE
  - PB : PLASTER BOARD
  - PS : PRIVACY SCREEN
  - SP : STEEL POST
  - SPR : SPANDEX COLORBOND ROOF



**Homes NSW**

APPROVED PLANS  
PART 5 (DIV 5.1) ACTIVITY DETERMINATION

Date: 12 March 2025  
Project No.: BGZXE

Determined by the New South Wales Land and Housing Corporation

**Certificate No. 0011514520**

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Assessor name: Dean Gorman  
Accreditation No: DMN131645  
Property Address: 16-18 Stapleton Parade, St Marys NSW 2780  
Project No.: BGZXE

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PROJECT:

SENIORS LIVING DEVELOPMENT  
at  
16-18 Stapleton Pde, St Marys - BGZXE  
Lot 32,33 &34 - DP 35558

DRAWING

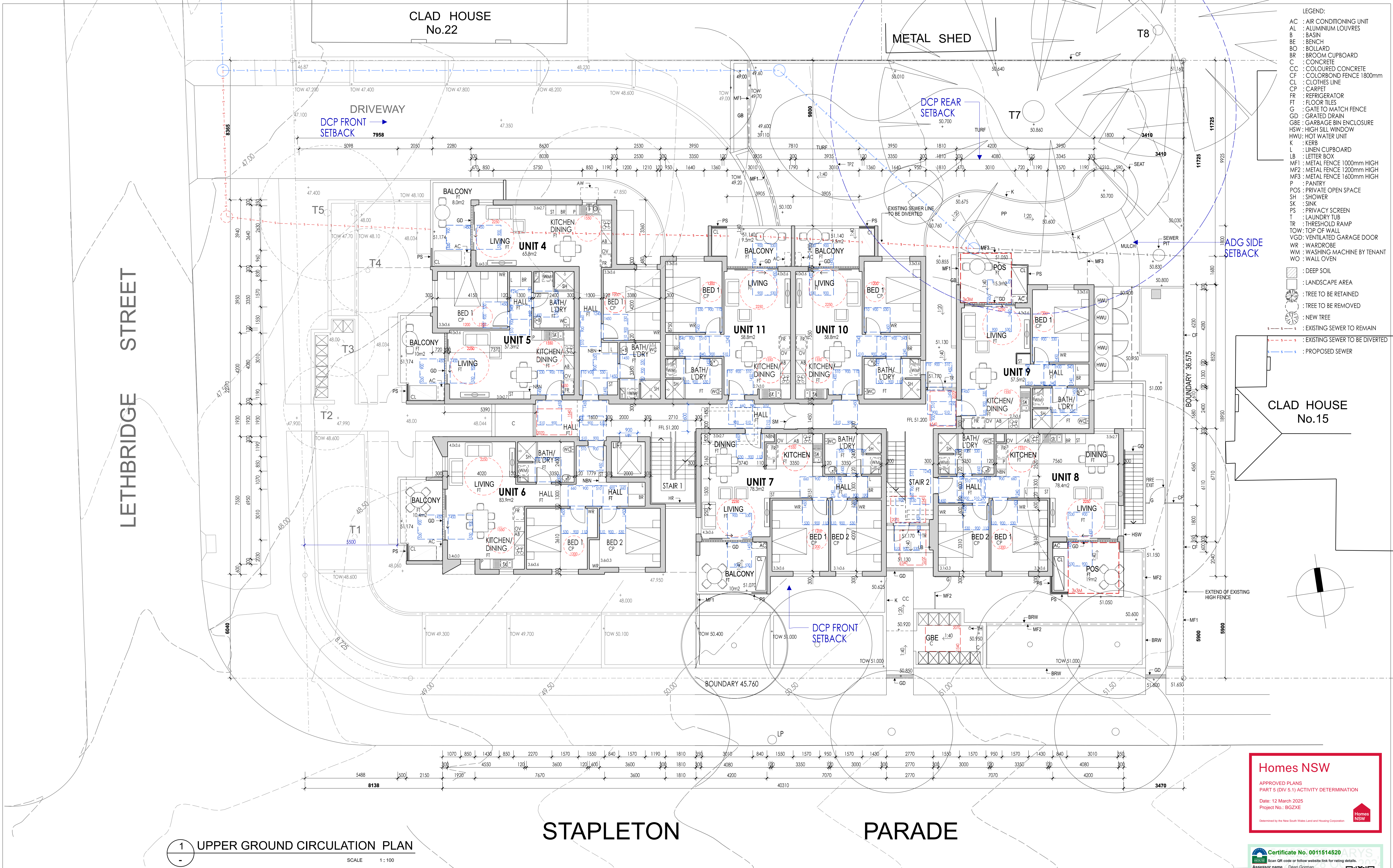
PART 5 ACTIVITY SUBMISSION  
ELEVATIONS, SECTIONS AND EXTERNAL WORK

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DKT	26 SEPTEMBER 2024	ET
STATUS:	SCALE@A1	REVISION:
DA	1:100	A
PROJECT No.		DRAWING:
BGZXE		A10









- LEGEND:
- AC : AIR CONDITIONING UNIT
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  - TREE TO BE REMOVED
  - NEW TREE
  - EXISTING SEWER TO REMAIN
  - EXISTING SEWER TO BE DIVERTED
  - PROPOSED SEWER

1 UPPER GROUND CIRCULATION PLAN  
SCALE 1:100

Homes NSW

APPROVED PLANS  
PART 5 (DIV 5.1) ACTIVITY DETERMINATION

Date: 12 March 2025  
Project No.: BGZXE

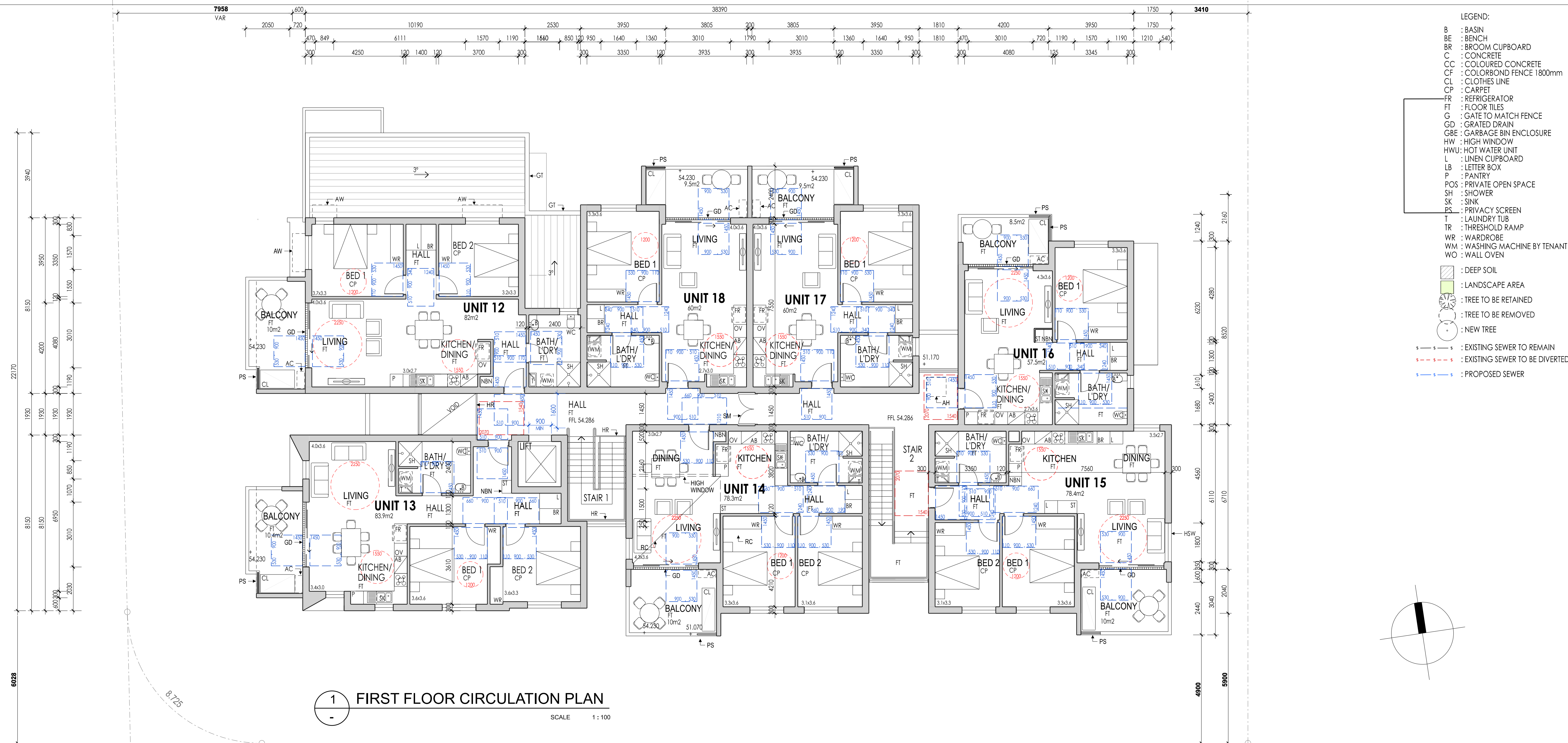
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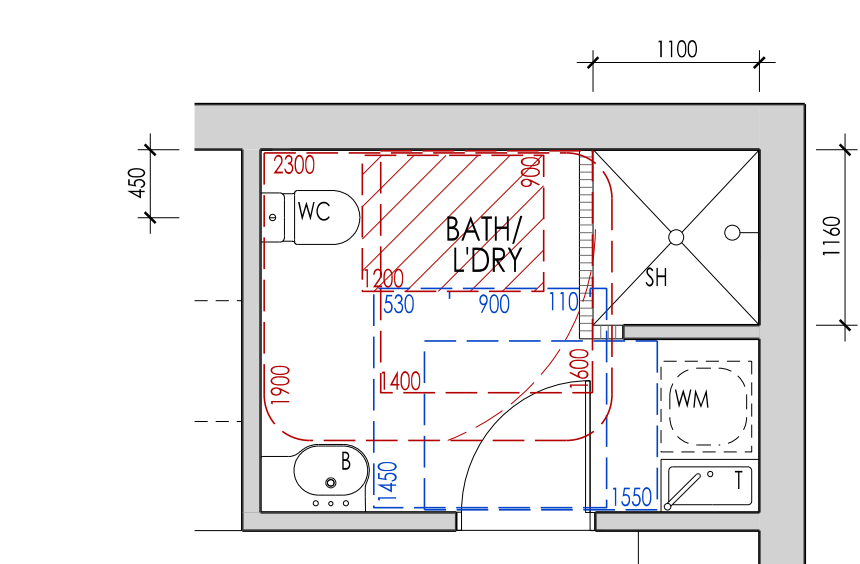
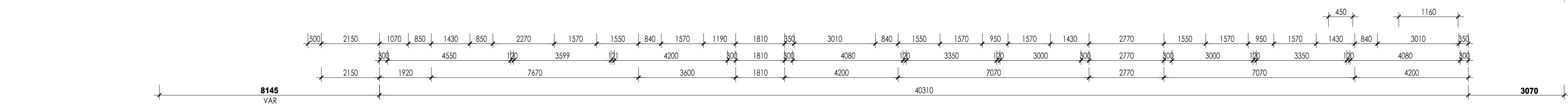
Assessor name: Dean Gorman  
Accreditation No: DMN131645  
Property Address: 16-18 Stapleton Parade, St Marys NSW 2578  
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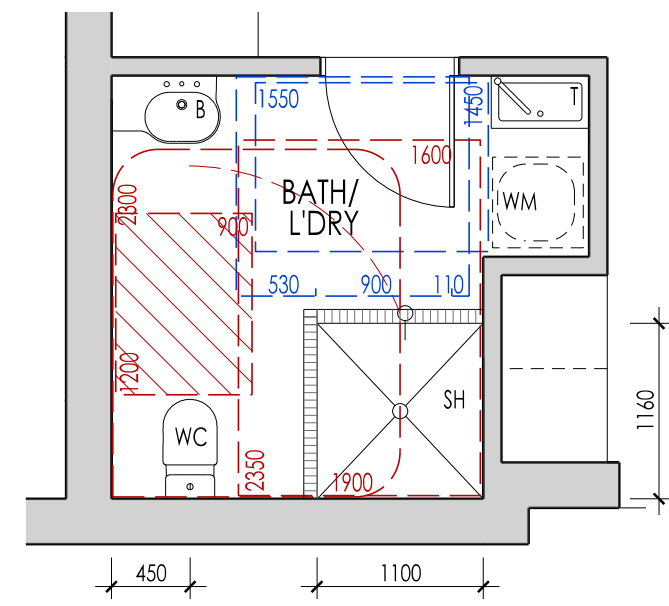
1 FIRST FLOOR CIRCULATION PLAN

SCALE 1 : 100



2 BATHROOM TYPE A CIRCULATION PLAN

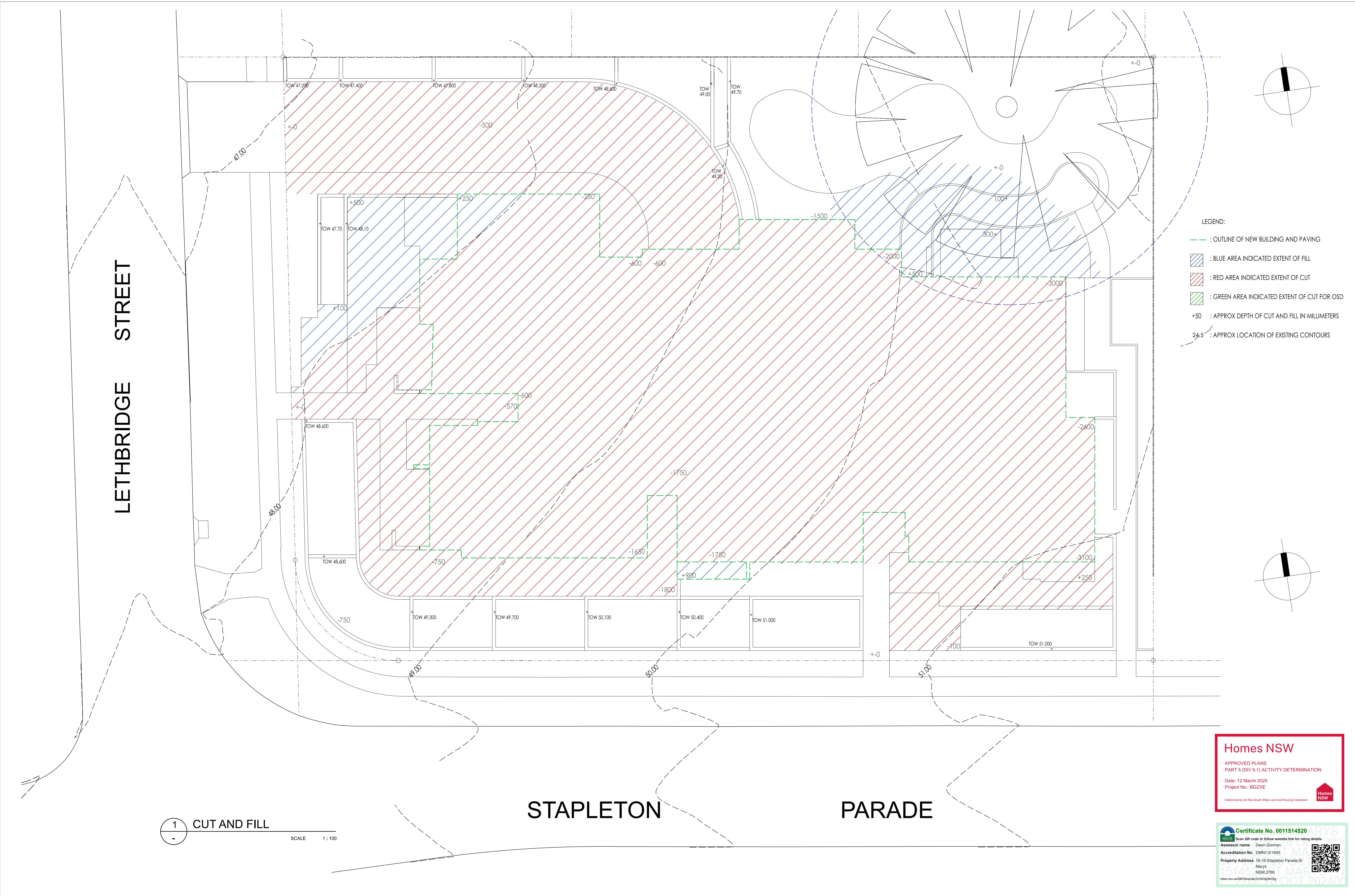
SCALE 1 : 50



3 BATHROOM TYPE B CIRCULATION PLAN

SCALE 1 : 50





Homes NSW

APPROVED PLANS  
PART 5 (DIV 5.1) ACTIVITY DETERMINATION  
Date: 12 March 2025  
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Accreditation No. DMN131645  
Property Address 16-18 Stapleton Parade, St Marys NSW 2578  
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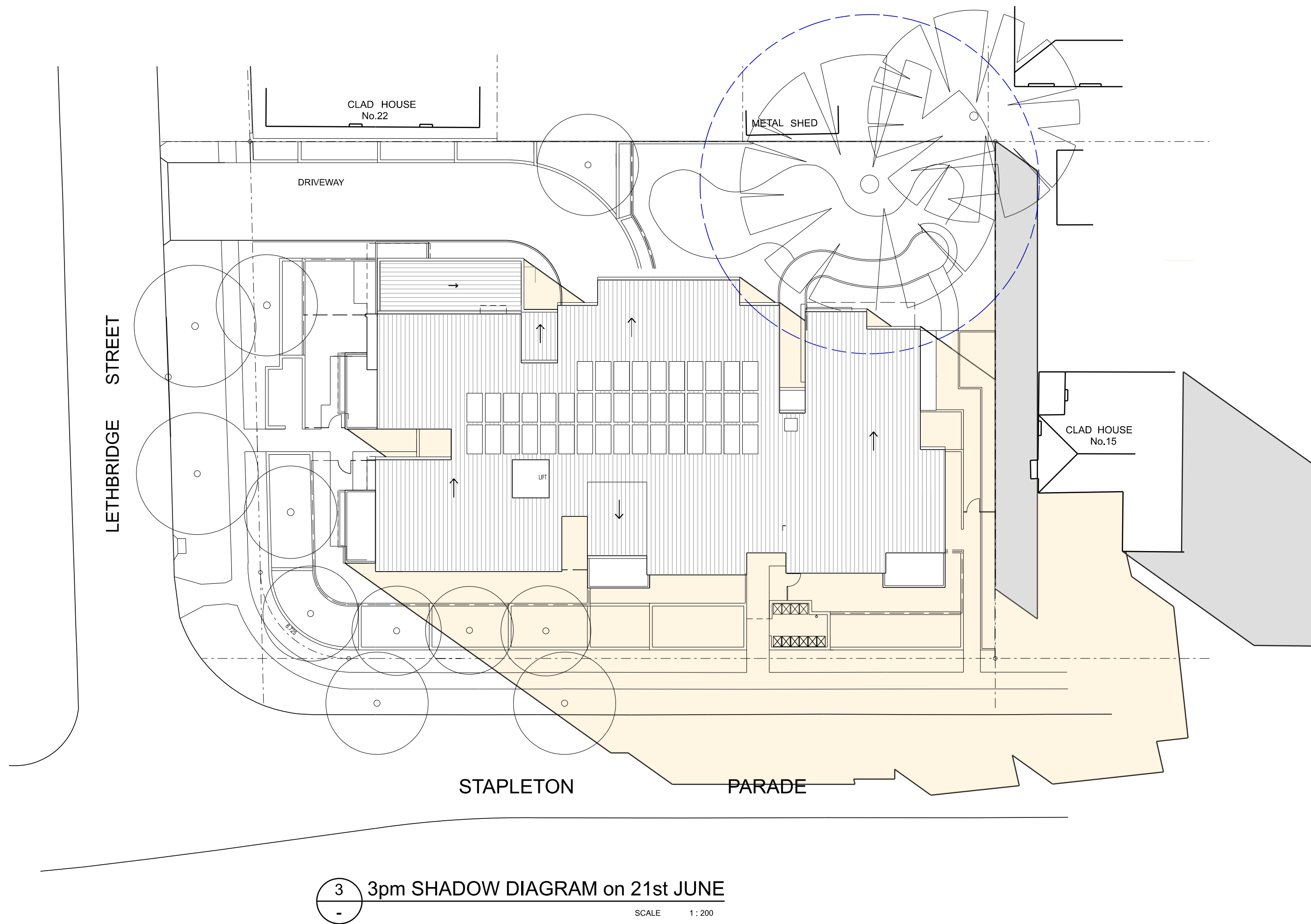
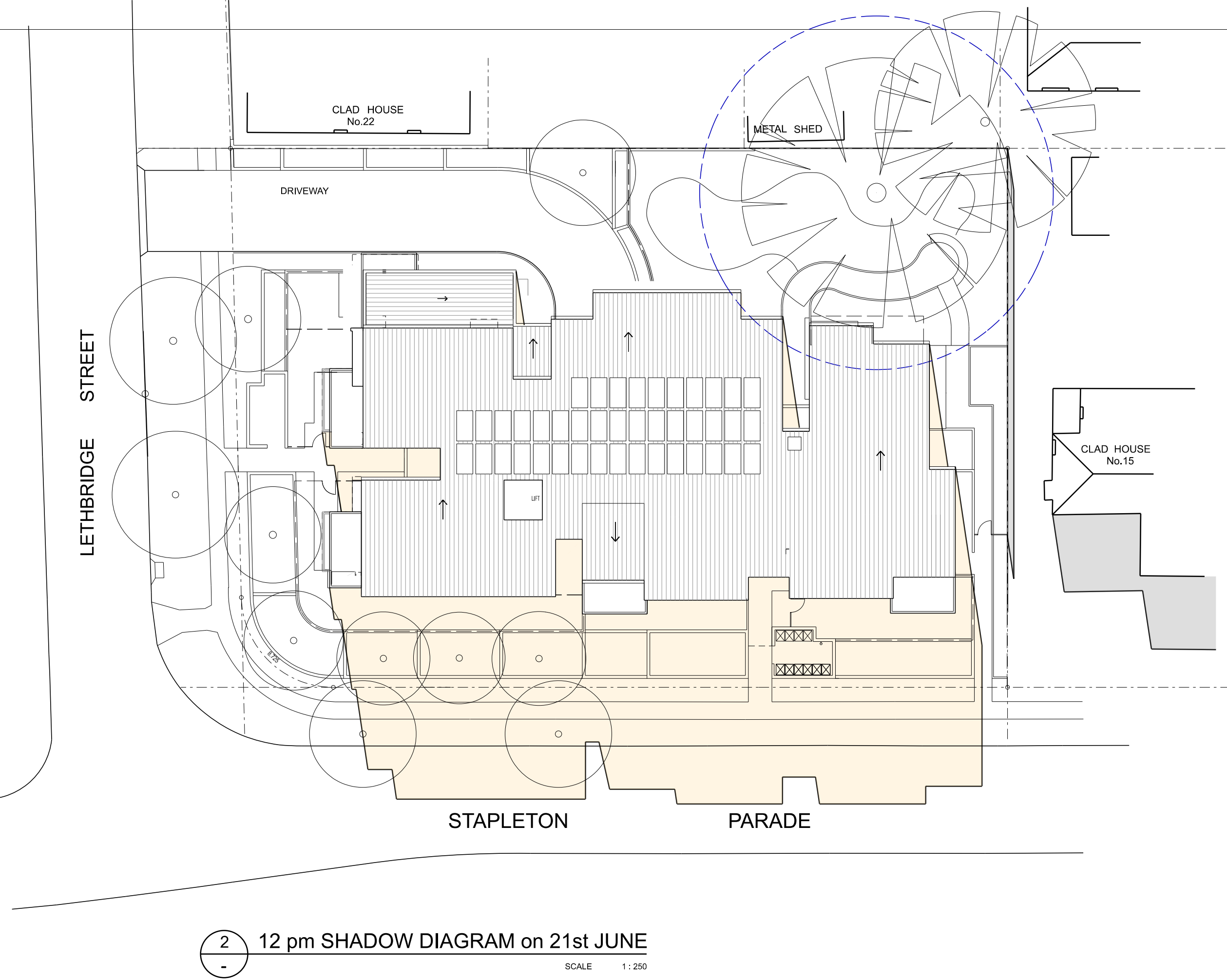
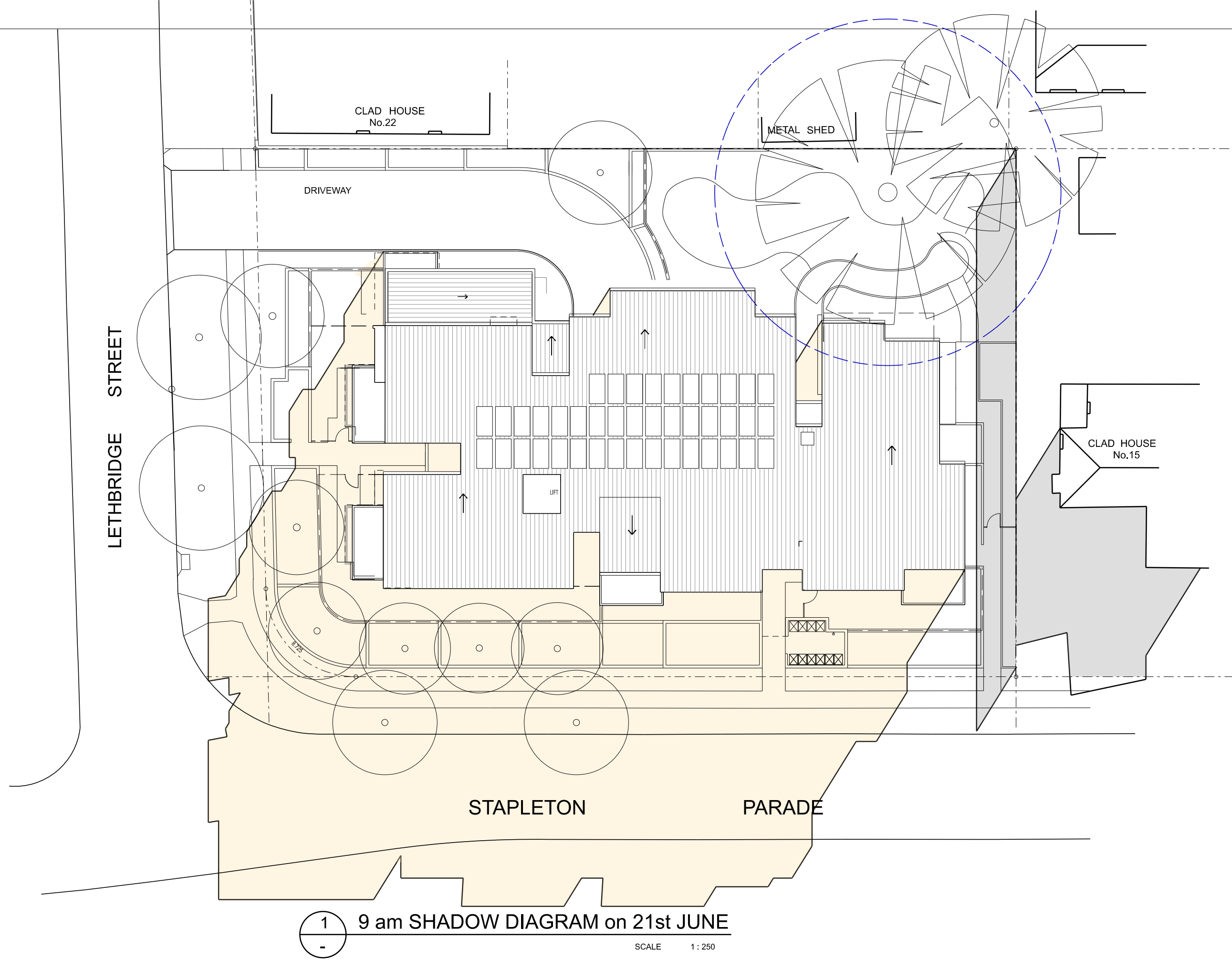




	: 1 BED GFA
	: 2 BED GFA
	: COMMON AREA
	: LANDSCAPE AREA :665.9m2
	: DEEP SOIL AREA: 326.5m2
	: GROSS FLOOR AREA: 1408.9m2
	: SITE AREA: 1890.6m2

UNIT	REQUIRED WITHIN APARTMENT M <sup>3</sup>	PROVIDED M <sup>3</sup>	REQUIRED WITHIN BASEMENT M <sup>3</sup>	PROVIDED M <sup>3</sup>
1	3	4.2	3	6
2	3	3.9	3	6
3	4	4.2	4	5
4	3	4.2	3	7
5	3	3.9	3	7
6	4	4.2	4	6
7	4	4.6	4	6
8	4	4.3	4	6
9	3	4	3	6
10	3	3.5	3	6
11	3	3.5	3	7
12	4	4.2	4	7
13	4	4.2	4	6
14	4	4.7	4	6
15	4	4.3	4	6
16	3	4	3	6
17	3	3.5	3	6
18	3	3.5	3	6





LEGEND:

SHADOW CAST BY PROPOSED BUILDING

SHADOW CAST BY EXISTING BUILDING AND EXISTING FENCES

**Homes NSW**

APPROVED PLANS  
PART 5 (DIV 5.1) ACTIVITY DETERMINATION

Assessor name: Dean Gorman  
Accreditation No: DMN/13/1645  
Date: 12 March 2025  
Project No: BGZXE

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Homes NSW

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Accreditation No: DMN/13/1645  
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NSW 21769  
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15 OCT 2024



9am



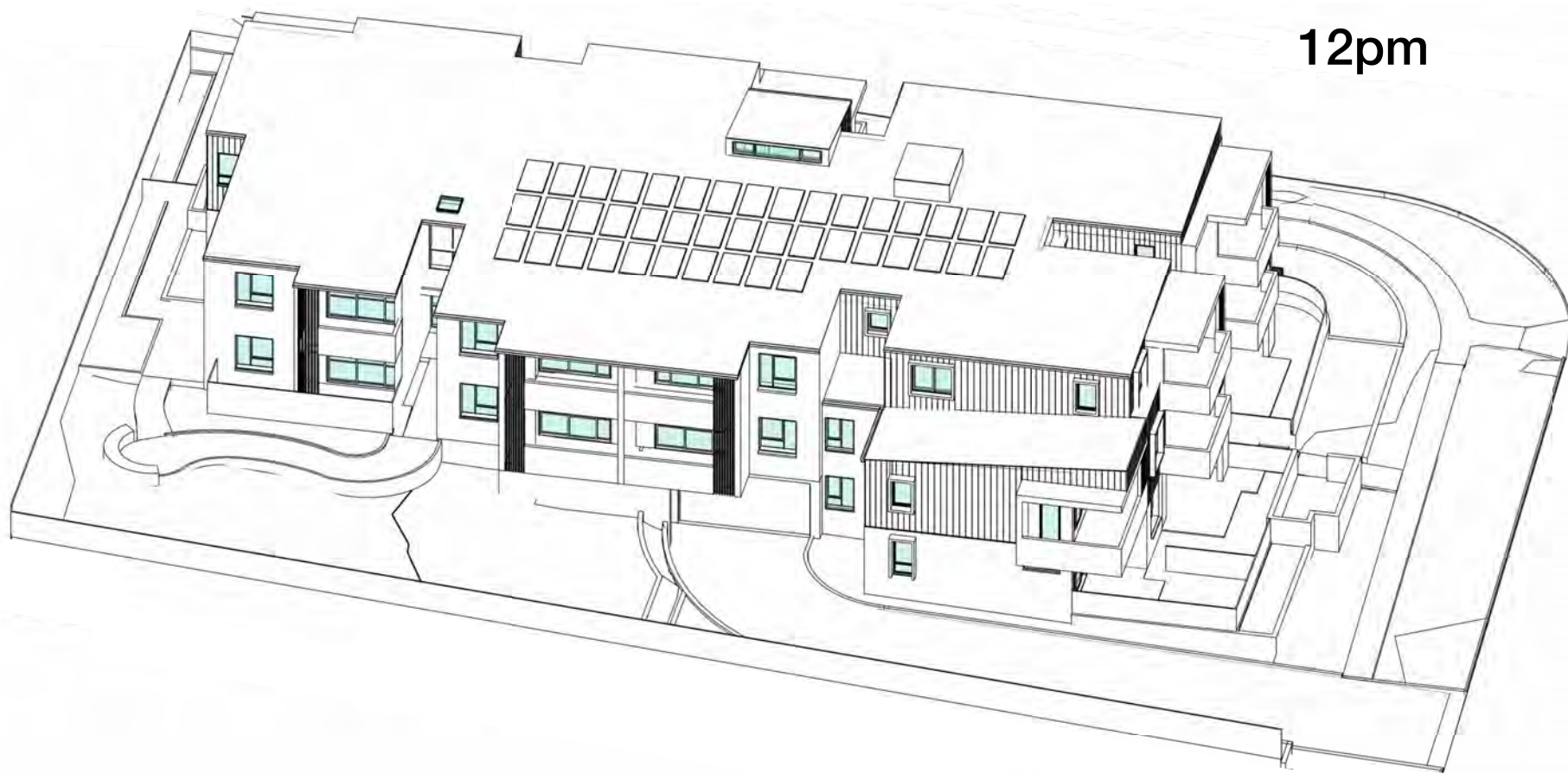
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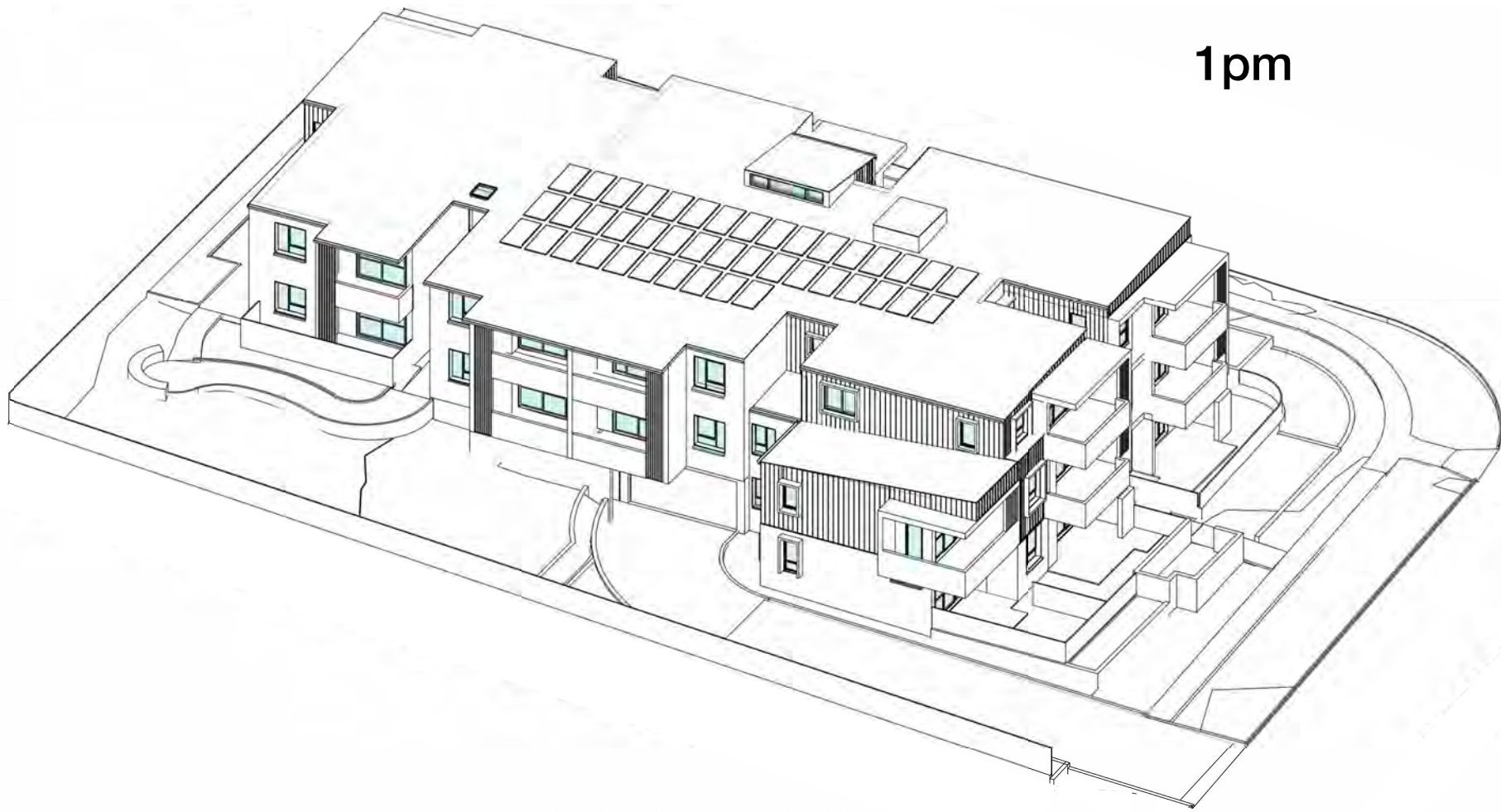
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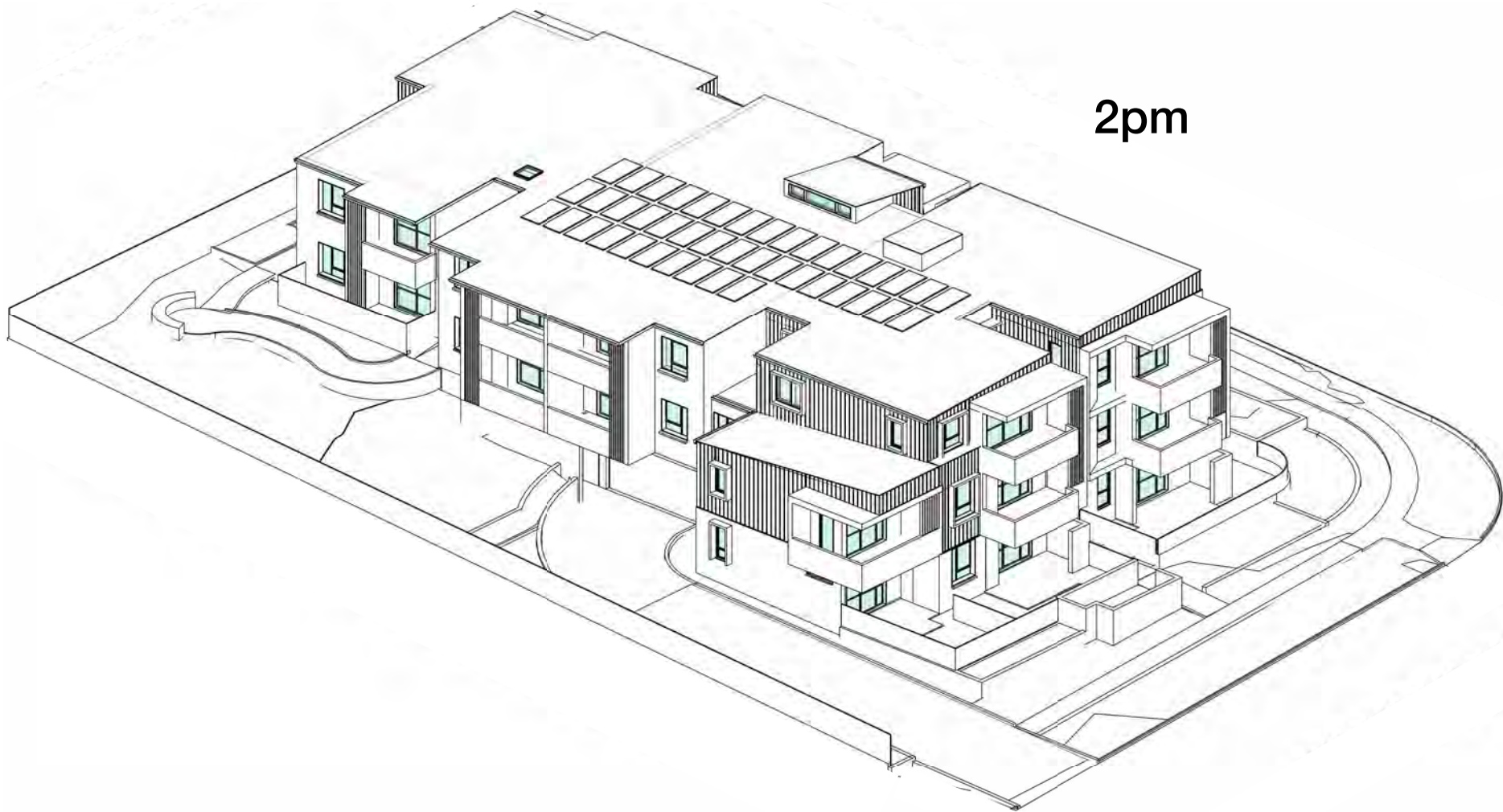
12pm



1pm



2pm



3pm



VIEW FROM SUN @ 21 JUNE

UNIT		TIME							SOLAR COMPLIANCE	NATURAL VENTILATION
		9am	10am	11am	12pm	1pm	2pm	3pm		
1	LIVING									
	POS									
2	LIVING									
	POS									
3	LIVING									
	POS									
4	LIVING									
	BALCONY									
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11	LIVING									
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13	LIVING									
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14	LIVING									
	BALCONY									
15	LIVING									
	BALCONY									
16	LIVING									
	BALCONY									
17	LIVING									
	BALCONY									
18	LIVING									
	BALCONY									
15 out of 18									83%	14 out of 18
										77%

Homes NSW

APPROVED PLANS  
PART 5 (DIV 5.1) ACTIVITY DETERMINATION  
Date: 12 March 2025  
Project No.: BGZXK



Certificate No. 0011514520

Assessor name: Dean Gorman

Accreditation No. DMN131645

Property Address: 16-18 Stapleton Parade, St Marys NSW 2760

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CLIENT:



REV	DATE	NOTATION/AMENDMENT
A	26/09/2024	PART 5 ACTIVITY SUBMISSION

ARCHITECT:



www.dktstudio.com  
mob: 0461 156 968 / 0414 505 421  
NOMINATED ARCHITECT: EDUARDO FARIA 1085  
Design Practitioner Registration No.: DFP0001542

CIVIL - STRUCTURAL - ELECTRICAL - HYDRAULIC CONSULTANT  
GREENVIEW CONSULTING  
Ph: (02) 8544 1883

LANDSCAPE CONSULTANT  
RFA LANDSCAPE ARCHITECTS  
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VISTA ACCESS AND ARCHITECTS  
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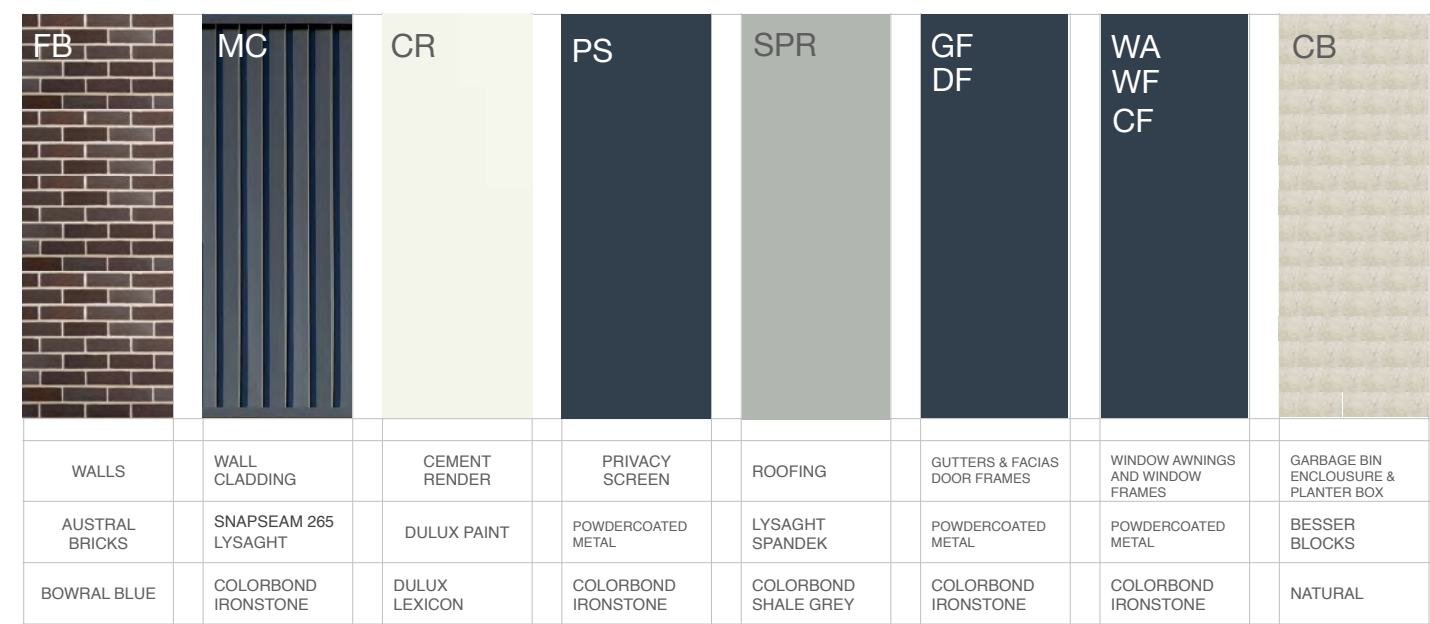
PROJECT:

SENIORS LIVING DEVELOPMENT  
at  
16-18 Stapleton Pde, St Marys - BGZXK  
Lot 32,33 &34 - DP 35558

DRAWING  
PART 5 ACTIVITY SUBMISSION  
VIEW FROM SUN

DRAWN BY: DKT  
STATUS: DA  
PROJECT NO.: BGZXK  
DATE: SEPTEMBER 2024  
SCALE@A1: 1:100  
APPROVED BY: ET  
REVISION: A  
DRAWING: A17





## SCALE 1:100



# CIVIL DESIGN

## FOR PROPOSED DEVELOPMENT AT

### 16,17 & 18 Stapleton Avenue, St Marys, NSW

#### GENERAL NOTES

- ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE NOMINATED OR APPLICABLE COUNCIL SPECIFICATION.
- THE CONTRACTOR SHOULD REPORT ANY DISCREPANCIES ON THE DRAWINGS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN.
- IT IS THE RESPONSIBILITY OF THE TENDERER TO SEEK CLARIFICATION WHERE DOCUMENTATION IS CONFLICTING OR UNCLEAR. WHERE NO CLARITY IS OBTAINED, THE TENDERER IS TO ALLOW FOR BOTH INTERPRETATIONS IN THEIR PRICING.
- CONTRACTOR IS NOT TO ENTER UPON NOR DO ANY WORK WITHIN ADJACENT LANDS WITHOUT THE PERMISSION OF THE OWNER.
- SURPLUS EXCAVATED MATERIAL SHALL BE PLACED WHERE DIRECTED OR REMOVED FROM SITE.
- ALL NEW WORKS SHALL MAKE A SMOOTH JUNCTION WITH EXISTING.
- ALL DRAINAGE LINES THOUGH ADJACENT LOTS SHALL BE CONTAINED WITHIN EASEMENTS CONFORMING TO COUNCIL'S STANDARDS.
- PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL PROVIDE A TRAFFIC MANAGEMENT PLAN PREPARED BY AN ACCREDITED PERSON IN ACCORDANCE WITH RMS REQUIREMENTS, FOR ANY WORK ON OR ADJACENT TO PUBLIC ROADS. PLAN TO BE SUBMITTED TO COUNCIL & RMS AS REQUIRED.
- THESE PLANS SHALL BE A READ IN CONJUNCTION WITH OTHER RELEVANT CONSULTANTS' PLANS, SPECIFICATIONS, CONDITIONS OF DEVELOPMENT CONSENT AND CONSTRUCTION CERTIFICATE REQUIREMENTS.
- THE BUILDER/CONTRACTOR SHALL LOCATE ALL EXISTING PUBLIC UTILITY SERVICES WITHIN THE SITE, FOOTPATH AREA AND ROAD RESERVE PRIOR TO THE COMMENCEMENT OF ANY WORKS. ALL LOCATIONS AND LEVELS OF SERVICES SHALL BE REPORTED TO THE STORMWATER ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORKS TO ENSURE THERE ARE NO OBSTRUCTIONS IN THE LINE OF THE DRAINAGE DISCHARGE PIPES.
- THE BUILDER IS TO VERIFY ALL LEVELS ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- ALL THE CLEANING EYES (OR INSPECTION EYES) FOR THE UNDERGROUND PIPES HAVE TO BE TAKEN UP TO THE FINISHED GROUND LEVEL FOR EASY IDENTIFICATION AND MAINTENANCE PURPOSES.
- ALL TERRACE FLOOR AND PLANTER GRATES TO HAVE FIRE COLLARS FITTED EXCEPT FOR CLASS 1 BUILDINGS.
- ALL PITS HAVING AN INTERNAL DEPTH THAT EXCEEDS 1.0m SHALL BE PROVIDED WITH GALVANIZED STEP IRONS AT 300 mm CENTRES PLACED IN A STAGGERED PATTERN AND SHALL BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS AS4198-1994.
- ALL MULCHING TO BE USED WITHIN THE AREA DESIGNATED AS ON SITE DETENTION STORAGE SHALL BE OF A NON-FLOATABLE MATERIAL SUCH AS DECORATIVE RIVER GRAVEL. BARK MULCHING SHALL NOT BE USED WITHIN THE DETENTION STORAGE AREA.
- PRIOR TO COMMENCING ANY WORKS ON THE SITE, THE BUILDER SHALL ENSURE THAT THE INVERT LEVELS OF WHERE THE SITE STORMWATER SYSTEM CONNECTION INTO COUNCIL'S KERB/DRAINAGE SYSTEM MATCH THE DESIGN LEVELS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY.
- GREENVIEW IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY SURVEY INFORMATION PROVIDED ON THIS DRAWING.
- ALL LEVELS SHOWN ARE EXPECTED TO BE TO A.H.D.
- ALL CHAINAGES AND LEVELS ARE IN METERS, AND DIMENSIONS IN MILLIMETRES, UNLESS NOTED OTHERWISE.
- THE SURVEY INFORMATION ON THIS DRAWING HAS BEEN PROVIDED BY THE ARCHITECT.
- CONTRACTORS SHALL ARRANGE FOR THE WORKS TO BE SET OUT BY A REGISTERED SURVEYOR.
- W.A.E DRAWINGS BY A REGISTERED SURVEYOR ARE REQUIRED PRIOR TO CERTIFICATION OF DRAINAGE.
- WHERE THESE PLANS ARE NOTED FOR DEVELOPMENT IDENTIFICATION PURPOSES ONLY, THEY SHALL NOT BE USED FOR OBTAINING A CONSTRUCTION CERTIFICATE NOR USED FOR CONSTRUCTION PURPOSES WITHOUT WRITTEN APPROVAL.
- WATER TREATMENT DEVICES TO STRICTLY COMPLY WITH MANUFACTURING SPECIFICATIONS.

#### RAINWATER REUSE SYSTEM NOTES

- RAINWATER SUPPLY PLUMBING TO BE CONNECTED TO OUTLETS WHERE REQUIRED BY BASIX CERTIFICATE (BY OTHERS).
- NO DIRECT CONNECTION BETWEEN TOWN WATER SUPPLY AND THE RAINWATER SUPPLY.
- PROVIDE AN APPROVED STOP VALVE AND/OR PRESSURE LIMITING VALVE AT THE RAINWATER TANK.
- PROVIDE AT LEAST ONE EXTERNAL HOSE COCK ON THE TOWN WATER SUPPLY FOR FIRE FIGHTING.
- PROVIDE APPROPRIATE FLOAT VALVE AND/OR SOLENOID VALVES TO CONTROL TOWN WATER SUPPLY INLET TO TANK IN ORDER TO ACHIEVE THE TOP-UP INDICATED ON THE TYPICAL DETAIL.
- ALL PLUMBING WORKS ARE TO BE CARRIED OUT BY LICENSED PLUMBERS IN ACCORDANCE WITH AS/NZS3500.1 NATIONAL PLUMBING AND DRAINAGE CODE.
- PRESSURE PUMP ELECTRICAL CONNECTION TO BE CARRIED OUT BY A LICENSED ELECTRICIAN.
- ONLY ROOF RUN-OFF IS TO BE DIRECTED TO THE RAINWATER TANK SURFACE WATER INLETS ARE NOT TO BE CONNECTED.
- PIPE MATERIALS FOR RAINWATER SUPPLY PLUMBING ARE TO BE APPROVED MATERIALS TO AS/NZS3500 PART 1 SECTION 2 AND TO BE CLEARLY AND PERMANENTLY IDENTIFIED AS 'RAINWATER'. THIS MAY BE ACHIEVED FOR BELOW GROUND PIPES USING IDENTIFICATION TAPE MADE IN ACCORDANCE WITH AS2684 OR FOR ABOVE GROUND PIPES BY USING ADHESIVE PIPE MARKERS (MADE IN ACCORDANCE WITH AS1345).
- EVERY RAINWATER SUPPLY OUTLET POINT AND THE RAINWATER TANK ARE TO BE LABELLED 'RAINWATER ON A METALLIC SIGN IN ACCORDANCE WITH AS1319.
- ALL INLETS AND OUTLETS TO THE RAINWATER TANK ARE TO HAVE SUITABLE MEASURES PROVIDED TO PREVENT MOSQUITO AND VERMIN ENTRY.
- ALL DOWNPIPES CHARGED TO THE RAINWATER TANK ARE TO BE SEALED UP TO GUTTER LEVEL AND BE PRESSURE TESTED AND CERTIFIED.
- TOWN WATER CONNECTION TO RAINWATER TANK TO BE TO THE SATISFACTION OF THE REGULATORY AUTHORITY. THIS MAY REQUIRE PROVISION OF
  - PERMANENT AIR GAP
  - BACKFLOW PREVENTION DEVICE

#### SAFETY IN DESIGN NOTES

THERE ARE INHERENT RISKS WITH CONSTRUCTING, MAINTAINING, OPERATING, DEMOLISHING, DISMANTLING AND DISPOSING. WE NOTE THIS DESIGN IS TYPICAL OF SIMILAR DESIGNS. AS FAR AS IS REASONABLY PRACTICABLE RISKS HAVE BEEN ELIMINATED OR MINIMISED THROUGH THE DESIGN PROCESS. HAZARD CONTROLS MUST STILL BE IMPLEMENTED BY THE CONTRACTOR, OWNER OR OPERATOR TO ENSURE THE SAFETY OF WORKERS. GREENVIEW ASSESSMENT DID NOT IDENTIFY ANY UNIQUE RISKS ASSOCIATED WITH THE DESIGN.

#### EARTHWORK NOTES

- IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS.
- THE CONTRACTOR SHALL CLEAR THE SITE BY REMOVING ALL RUBBISH, FENCES AND DEBRIS ETC. TO THE EXTENT OF THE PROPOSED DEVELOPED AREA.
- PROVIDE PROTECTION BARRIERS TO PROTECTED/SENSITIVE AREAS PRIOR TO ANY BULK EXCAVATION.
- OVER FULL AREA OF EARTHWORKS, CLEAR VEGETATION, RUBBISH, SLABS ETC. AND STRIP TOP SOIL. AVERAGE 200mm THICK. REMOVE FROM SITE, EXCEPT TOP SOIL FOR RE-USE.
- CUT AND FILL OVER THE SITE TO LEVELS REQUIRED.
- PRIOR TO ANY FILLING IN AREAS OF CUT OR IN EXISTING GROUND, PROOF ROLL THE EXPOSED SURFACE WITH A ROLLER OF MINIMUM WEIGHT OF 5 TONNES WITH A MINIMUM OF 10 PASSES.
- EXCAVATE AND REMOVE ANY SOFT SPOTS ENCOUNTERED DURING PROOF ROLLING AND REPLACE WITH APPROVED FILL COMPACTED IN LAYERS. THE WHOLE OF THE EXPOSED SUBGRADE AND FILL SHALL BE COMPACTED TO 98% STANDARD MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT  $\pm$  2%.
- FOR ON SITE FILLING AREAS, THE CONTRACTOR SHALL TAKE LEVELS OF EXISTING SURFACE AFTER STRIPPING TOPSOIL AND PRIOR TO COMMENCING FILL OPERATIONS.
- WHERE HARD ROCK IS EXPOSED IN THE EXCAVATED SUB-GRADE, THIS WILL BE INSPECTED AND A DECISION MADE ON THE LEVEL TO WHICH EXCAVATION IS TAKEN.
- FILL IN 200mm MAXIMUM (LOOSE THICKNESS) LAYERS TO UNDERSIDE OF BASECOURSE USING THE EXCAVATED MATERIAL AND COMPACTED TO 98% STANDARD (AS 1289 5.1.1). MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT  $\pm$  2% SHOULD THERE BE INSUFFICIENT MATERIAL FROM SITE EXCAVATIONS, IMPORT AS NECESSARY CLEAN GRANULAR FILL TO APPROVAL.
- COMPACTION TESTING SHALL BE CARRIED OUT AT THE RATE OF 2 TESTS PER 1000SQ METRES PER LAYER BY A REGISTERED NATA LABORATORY. THE COSTS OF TESTING AND RE-TESTING ARE TO BE ALLOWED FOR BY THE BUILDER.
- BATTERS TO BE AS SHOWN, OR MAXIMUM 1 VERT : 4 HORIZ.
- ALL CONDUITS AND MAINS SHALL BE LAID PRIOR TO LAYING FINAL PAVEMENT.
- ALL TERRACES AND FOOTPATHS ADJACENT TO ROADS SHALL BE TOP SOILED WITH 150mm APPROVED LOAM AND SEEDED UNLESS OTHERWISE SPECIFIED.

#### DRAINAGE INSTALLATION

#### RCP CONVENTIONAL

#### INSTALLATIONS & ROAD CROSSINGS

- SUPPLY & INSTALLATION OF DRAINAGE WORKS TO BE IN ACCORDANCE WITH THESE DRAWINGS, THE COUNCIL SPECIFICATION AND THE CURRENT APPLICABLE AUSTRALIAN STANDARDS.
- BACKFILL SHALL BE PLACED & COMPACTED IN ACCORDANCE WITH THE SPECIFICATION. A GRANULAR GRAVEL AGGREGATE MATERIAL (<10mm) BACKFILL IS RECOMMENDED FOR THE BEDDING, HAUNCH SUPPORT AND SIDE ZONE DUE TO ITS SELF COMPACTING ABILITY.
- A MINIMUM OF 150mm CLEARANCE IS TO BE PROVIDED BETWEEN THE OUTSIDE OF THE PIPE BARREL AND THE TRENCH WALL FOR PIPES < 600 DIA. 200mm CLEARANCE FOR PIPES 600 TO 1200 DIA AND 200mm CLEARANCE FOR PIPES > 1200 DIA.
- BEDDING OF THE PIPELINES IS TO BE TYPE 'HS2' IN ACCORDANCE WITH THE STANDARDS AND AS FOLLOWS:

a. COMPACTED GRANULAR MATERIAL IS TO COMPLY WITH THE FOLLOWING GRADINGS:

M	19	2.3600	0.6000	0.3000	0.1500	0.0750
% MASS PASSING	100	50-100	20-90	10-60	0-25	0-10

-AND THE MATERIAL PASSING THE 0.075 SIEVE HAVING LOW PLASTICITY AS DESCRIBED IN APPENDIX D OF AS1726.

b. BEDDING DEPTH UNDER THE PIPE TO BE 100mm.

c. BEDDING MATERIAL TO BE EXTENDED FROM THE TOP OF THE BEDDING ZONE UP TO 0.3 TIMES PIPE OUTSIDE DIAMETER. THIS REPRESENTS THE HAUNCH ZONE.

d. THE BEDDING & HAUNCH ZONE MATERIAL IS TO BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 98% WITHIN ROAD RESERVES AND TRAFFICABLE AREAS AND 95% ELSEWHERE FOR COHESIVE MATERIAL OR A MINIMUM DENSITY INDEX OF 70% IN ACCORDANCE WITH THE STANDARDS FOR COHESIONLESS MATERIAL.

e. COMPACTION TESTING SHALL BE CARRIED OUT BY AN APPROVED ORGANISATION WITH A NATA CERTIFIED LABORATORY FOR ALL DRAINAGE LINES LAID WHOLLY OR IN PART UNDER THE KERB & GUTTER OR PAVEMENT.

#### ROOF DRAINAGE

- ALL ROOF DRAINAGE IS TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CURRENT APPLICABLE AUSTRALIAN STANDARDS INCLUDING AS3500.3, NCC AND COUNCIL'S SPECIFICATIONS.
- DOWNPIPES SHOWN ARE INDICATIVE ONLY. REFER ARCHITECTURALS FOR FINAL LOCATIONS.
- ALL DOWNPIPES TO BE CONSTRUCTED OF ONE MATERIAL FOR AESTHETICS REASONS AND PAINTED TO PROTECT THEM AGAINST ULTRA-VIOLET LIGHT DAMAGE, UNLESS APPROVED OTHERWISE BY THE PROJECT ARCHITECT.
- ALL DOWNPIPES TO HAVE LEAF GUARDS.
- ALL EAVES GUTTERS ARE TO BE DESIGNED TO THE 5% AEP (20YR) STORM EVENTS UNO.
- ALL EAVES GUTTER OVERFLOWS ARE TO BE IN ACCORDANCE WITH AS3500.3 G3.
- ALL BOX GUTTERS ARE TO BE DESIGNED TO CATER TO THE 1% AEP (100YR) STORM EVENTS UNO.
- IN ACCORDANCE WITH AS3500.3 CLAUSE 3.7.6.6, BOX GUTTERS SHALL:
  - BE STRAIGHT (WITHOUT CHANGE IN DIRECTION)
  - HAVE A HORIZONTAL CONSTANT WIDTH BASE (SOLE) WITH VERTICAL SIDES IN A CROSS-SECTION.
  - HAVE A CONSTANT LONGITUDINAL SLOPE BETWEEN 1:200 AND 1:40.
  - DISCHARGE AT THE DOWNSTREAM END WITHOUT CHANGE OF DIRECTION (I.E. NOT TO THE SIDE); AND
  - BE SEALED TO THE RAINHEADS AND SUMPS.
- GREENVIEW RECOMMENDS THAT THE BUILDER VERIFIES THAT ANY AND ALL BOX GUTTERS HAVE BEEN DESIGNED BY A QUALIFIED CIVIL ENGINEER PRIOR TO THE COMMENCEMENT OF WORKS.
- GREENVIEW RECOMMENDS A SPECIFIC INSPECTION AND CERTIFICATION BY A QUALIFIED CIVIL ENGINEER OF ANY AND ALL BOX GUTTERS INSTALLED ON THE PROJECT PRIOR TO OCCUPATION CERTIFICATE.
- ALL DOWNPIPES ARE TO BE PIPE CONNECTED INTO THE FORMAL RAINWATER OR STORMWATER LINE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS OTHERWISE.

#### STORMWATER DRAINAGE NOTES

- STORMWATER DRAINAGE SHALL BE GENERALLY IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS INCLUDING AS3500.3, NCC AND COUNCIL'S SPECIFICATION.
- MINIMUM PIT DIMENSIONS ARE TO BE IN ACCORDANCE WITH AS3500.3 TABLE 7.5.2.1 WHICH PROVIDES GUIDANCE ACCORDING TO PIT DEPTH U.N.O.

##### TABLE 7.5.2.1

#### MINIMUM INTERNAL DIMENSIONS FOR STORMWATER AND INLET PITS

Depth to invert of outlet	Minimum internal dimensions mm		
	Rectangular	Circular	
	Width	Length	Diameter
≤450	350	350	—
≤600	450	450	600
>600 ≤900	600	600	900
>900 ≤1200	600	900	1000
>1200	900	900	1000

- PIPES OF 225mm DIA. AND UNDER SHALL BE UPVC.
- PIPES OF 300mm DIA. AND LARGER SHALL BE FRC OR CONCRETE CLASS 2 RUBBER RING JOINTED UNO.
- ALL FRC OR RCP STORMWATER PIPES WITHIN ROAD RESERVE AREAS TO BE CLASS 3 U.N.O. BY COUNCIL'S SPECIFICATION.
- PIPES SHALL GENERALLY BE LAID AT THE GRADES INDICATED ON THE DRAWINGS.
- MINIMUM COVER TO PIPES 300mm DIA. AND OVER GENERALLY SHALL BE 600mm IN CARPARK & ROADWAY AREAS UNO.
- ALL PIPES LOCATED IN LANDSCAPE AREAS TO HAVE 300mm COVER, WHERE NOT POSSIBLE AND COVER IS BETWEEN 150mm AND 300mm USE SEWER GRADE PIPE.
- PIPES 225mm DIA. AND OVER SHALL BE LAID AT 0.5% MIN. GRADE U.N.O.
- PIPES UP TO 150mm DIA SHALL BE LAID AT 1.0% MIN. GRADE U.N.O.
- BACKFILL TRENCHES WITH APPROVED FILL COMPACTED IN 200mm LAYERS TO 98% OF STANDARD DENSITY.
- ANY PIPES OVER 15% GRADE SHALL HAVE CONCRETE BULKHEADS AT ALL JOINTS.
- THE MINIMUM SIZES OF THE STORMWATER DRAINAGE PIPES SHALL NOT BE LESS THAN 90mm DIA FOR CLASS 1 BUILDINGS AND 100mm DIA FOR OTHER CLASSES OF BUILDING OR AS REQUIRED BY THE REGULATORY AUTHORITY.
- BUILD INTO UPSTREAM FACE OF ALL PITS A 3.0m SUBSOIL LINE FALLING TO PITS TO MATCH PIT INVERTS.
- ALL LANDSCAPED PITS TO BE MIN 450 SQUARE U.N.O OR LARGER AS REQUIRED BY AS3500.3 TABLE 7.5.2.1.
- GREENVIEW RECOMMENDS ALL COURTYARDS TO HAVE 450 SQUARE PLASTIC PIT INSTALLED WITH A 150mm DIA. CONNECTION TO FORMAL DRAINAGE SYSTEM U.N.O.
- ALL DRIVEWAY PITS TO BE MIN 600 SQUARE U.N.O OR LARGER AS REQUIRED BY AS3500.3 TABLE 7.5.2.1.
- ALL PLANTER BOXES AND BALCONIES TO BE CONNECTED TO THE PROPOSED STORMWATER DRAINAGE LINE.
- ALL STORMWATER DRAINAGE WORK TO AVOID TREE ROOTS. WHERE NOT POSSIBLE, ALL EXCAVATIONS IN VICINITY OF TREE ROOTS ARE TO BE HAND DUG.
- GEOTEXTILE FABRIC TO BE PLACED UNDER RIP RAP SCOUR PROTECTION WHERE APPLICABLE.
- ALL BASES OF PITS TO BE BENCHED (TO HALF PIPE DEPTH) TO THE INVERT OF THE OUTLET PIPE AND PROVIDE GALVANISED ANGLE SURROUNDINGS TO GRATE.
- ANY VARIATION TO THAT WORKS AS SHOWN ON THE APPROVED DRAWINGS ARE TO BE CONFIRMED BY THE ENGINEER PRIOR TO THE COMMENCEMENT.
- ALL BALCONIES AND ROOFS TO BE DRAINED AND TO HAVE SAFETY OVERFLOWS IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.
- GREENVIEW RECOMMENDS ALL ACCESSIBLE GRATES TO BE FITTED WITH CHILDPROOF LOCKS.
- ALL WORK WITHIN COUNCIL RESERVE AREAS TO BE INSPECTED BY COUNCIL PRIOR TO BACKFILLING.
- COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL.
- WATER PROOF ALL CONCRETE BALCONIES & ROOFS TO ARCHITECTS DETAILS.
- ALL BALCONIES TO HAVE FLOOR WASTE AND 1% FALL WITH SAFETY OVERFLOW.
- ALL SUBSOIL DRAINAGE SHALL BE A MINIMUM OF Ø65mm AND SHALL BE PROVIDED WITH A FILTER SOCK. THE SUBSOIL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH DETAILS TO BE PROVIDED BY THE LANDSCAPE CONSULTANT.
- SUBSOIL DRAINAGE PIPES AND FITTINGS SHALL BE PERFORATED PLASTIC TO CURRENT AUSTRALIAN STANDARDS. LAY PIPES ON FLOOR OF TRENCH GRADED AT 1% MIN. AND OVERLAY WITH FILTER MATERIAL EXTENDING TO WITHIN 200mm OF SURFACE. PROVIDE FILTER FABRIC OF PERMEABLE POLYPROPYLENE BETWEEN FILTER MATERIAL AND TOPSOIL. PROVIDE FLUSHING EYES AT HIGH POINTS OR TO COUNCILS REQUIREMENTS.
- ALL GRATES IN AREAS OF FREQUENT PEDESTRIAN TRAFFIC (IE FOOTPATHS, WALKWAYS, ETC.) TO BE HEELPROOF GRATE.
- REFER ARCHITECTS DETAIL FOR GRATE FINISH (IE STAINLESS STEEL OR GALVANISED).
- GRATES TO BE IN ACCORDANCE WITH TABLE BELOW:

#### PIT GRATE INLINE TYPE

GRATE TYPE	TRAFFIC CONDITIONS
A - EXTRA LIGHT DUTY	FOOTWAYS AND AREAS ACCESSIBLE ONLY TO PEDESTRIANS AND PEDAL CYCLISTS.
B - LIGHT DUTY	FOOTWAYS THAT CAN BE MOUNTED BY VEHICLES.
C - MEDIUM DUTY	ALLS AND PEDESTRIAN AREAS OPEN TO SLOW MOVING COMMERCIAL VEHICLES.
D - HEAVY DUTY	CARRIAGEWAYS OF ROADS AND AREAS OPEN TO COMMERCIAL VEHICLES.

TABLE AS PER AS3696 - 2006. ENGINEER TO BE NOTIFIED IF LOAD CONDITIONS LISTED ABOVE ARE EXCEEDED.

- COVER TO PIPE TO BE AS PER TABLE BELOW:

#### COVER TABLE

LOCATION	PIPE TYPE	COVER
LANDSCAPE	PVC	300
LANDSCAPE (SINGLE DWELLING)	PVC	100
UNDER TRAFFICABLE AREA	PVC	100 BELOW UNDERSIDE OF PAVEMENT
CONCRETE	STEEL	NIL BELOW UNDERSIDE OF PAVEMENT
ROADS	RCP	500 BELOW UNDERSIDE OF PAVEMENT

#### STORMWATER DRAINAGE NOTES CONTINUED

- GREENVIEW'S STORMWATER SYSTEM HAS BEEN DESIGNED TO CAPTURE SURFACE RUNOFF FROM THE SITE ITSELF BUT DOES NOT INCORPORATE SPECIFIC GROUNDWATER CAPTURE MECHANISMS. IN SOME CASES, GROUNDWATER INUNDATION MAY BE A SIGNIFICANT SOURCE OF WATER DURING A STORM EVENT. GREENVIEW RECOMMENDS THAT ALL RETAINING WALLS CLOSE TO HABITABLE AREAS BE FITTED WITH AN IMPERMEABLE MEMBRANE AND SUBSOIL DRAINAGE TO PREVENT GROUNDWATER INGRESS.
- GREENVIEW RECOMMENDS ALL IN-GROUND STORMWATER PIPE RUNS ARE SET OUT BY THE BUILDER PRIOR TO COMMENCEMENT OF WORKS. WHERE 300mm COVER IS NOT ACHIEVED, NOTIFY ENGINEER.
- WHERE STORMWATER DRAINAGE WORKS ARE TO BE UNDERTAKEN PRIOR TO THE CONSTRUCTION OF THE BUILDING, THE BUILDER IS TO SET OUT THE FLOOR LEVELS AND ENSURE PROPOSED STORMWATER DRAINAGE LEVELS AND BUILDING LEVELS ARE COMPATIBLE. NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES.

#### RECOMMENDED SAFETY SIGNS



#### CONFINED SPACE DANGER SIGN

- A CONFINED SPACE DANGER SIGN SHALL BE POSITIONED IN A LOCATION AT ALL ACCESS POINTS, SUCH THAT IT IS CLEARLY VISIBLE TO PERSONS PROPOSING TO ENTER THE BELOW GROUND TANKS CONFINED SPACE.
  - MINIMUM DIMENSIONS OF THE SIGN
    - 300mm x 450mm (LARGE ENTRIES, SUCH AS DOORS)
    - 250mm x 180mm (SMALL ENTRIES SUCH AS GRATES & MANHOLES)
- THE SIGN SHALL BE MANUFACTURED FROM COLOUR BLENDED ALUMINUM OR POLYPROPYLENE.
- SIGN SHALL BE AFFIXED USING SCREWS AT EACH CORNER OF THE SIGN.

#### EXISTING SERVICES



#### ABBREVIATIONS

DP	DOWN PIPE
FFL	PROPOSED FINISHED FLOOR LEVEL
GL	PROPOSED PIT SURFACE LEVEL
IO	PROPOSED PIT INVERT LEVEL
K&G	INSPECTION OPENING
P	KERB & GUTTER
RCP	FINISHED PAVEMENT LEVEL
RKG	REINFORCED CONCRETE PIPE
RL	ROLL KERB & GUTTER
RWO	FINISHED SURFACE LEVEL
RWT	RAINWATER DRAINAGE OUTLET
TK	PROPOSED RAINWATER TANK
TOW	TOP OF NEW KERB LEVEL
TWL	TOP OF NEW RETAINING WALL LEVEL
UPVC	TOP OF WATER LEVEL
VD	RIGID PVC PIPE
	VERTICAL DROPPER

#### COLOUR LEGEND

NEW (REFER TO SCHEDULES FOR COLOUR DEFINITION)
EXISTING
REMOVED OR RELOCATED

GREENVIEW CIVIL SHEET LIST		
No.	SHEET NAME	REV.
C01	NOTES & LEGENDS	7
C02	LOWER GROUND FLOOR DRAINAGE PLAN	7
C03	UPPER GROUND FLOOR DRAINAGE PLAN	7
C04	SITE STORMWATER DETAILS SHEET 1	5
C05	SITE STORMWATER DETAILS SHEET 2	5
C10	BASEMENT CIRCULATION TURN SHEET 1	5
C11	BASEMENT TURNING PATHS SHEET 1	5
C12	BASEMENT TURNING PATHS SHEET 2	5
C13	BASEMENT TURNING PATHS SHEET 3	3

## PROPOSED DEVELOPMENT

16,17 & 18 Stapleton Avenue, St Marys, NSW

DKT Studio



DESIGN: JC

DRAWN: JC

CHECKED: AMcK

SIZE: A1

SCALE: 1 : 100

## CIVIL DESIGN

## NOTES & LEGENDS

## Homes NSW

APPROVED PLANS  
PART 5 (DIV 5.1) ACTIVITY DETERMINATION

Date: 12 March 2025

Project No.: BGZXE

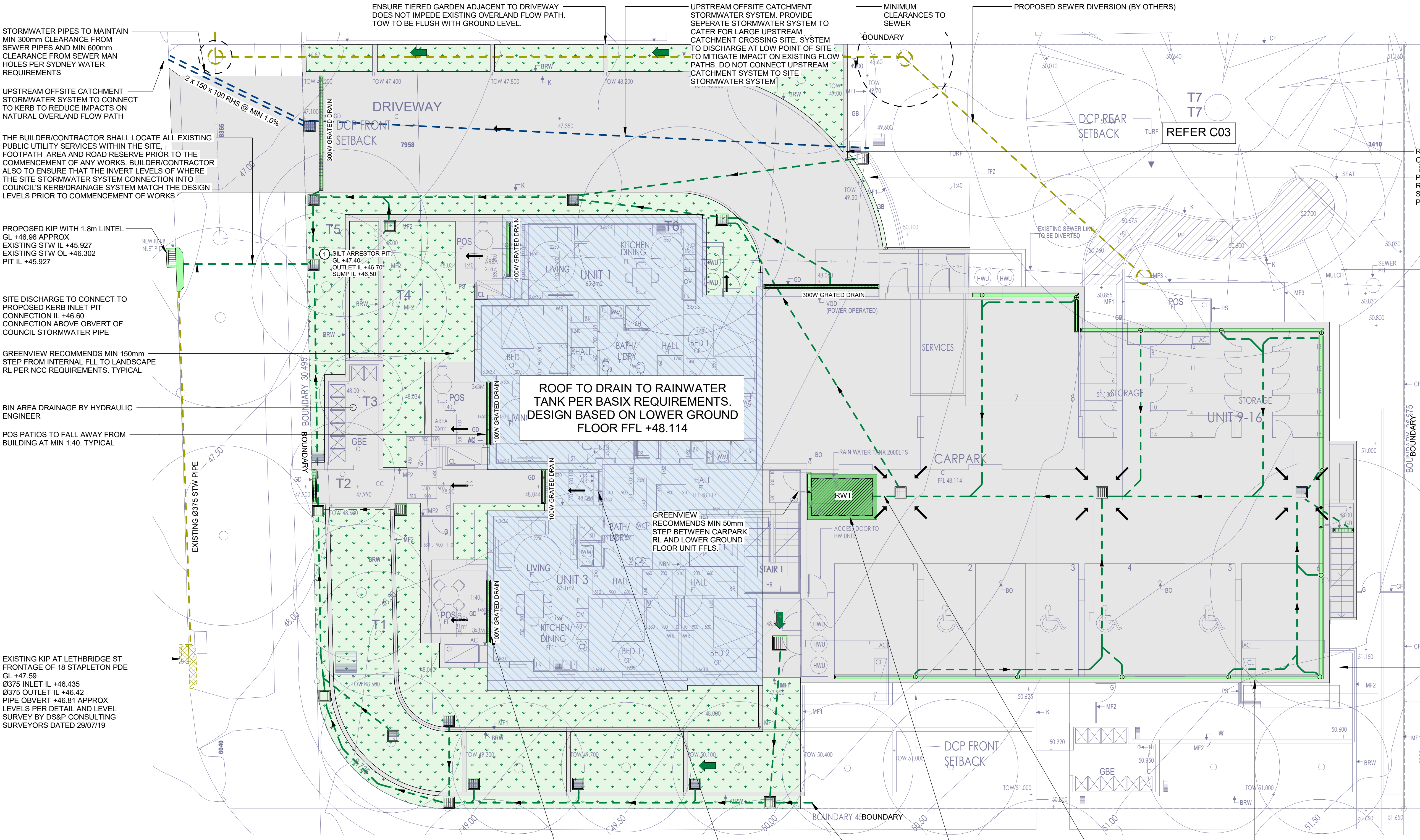
Determined by the New South Wales Land and Housing Corporation



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BGZXE

C01 7





REFER C03 FOR CONTINUATION  
PROVIDE SUBSOIL DRAINAGE TO ALL RETAINING WALLS AND CONNECT INTO STORMWATER SYSTEM. TYPICAL PIPES NOT SHOWN FOR CLARITY.

#### GENERAL LEGEND

	LANDSCAPE
	HARDSTAND
	ROOF AREA TO DRAIN

CIV - FIXTURES SCHEDULE		
	TYPE	DESCRIPTION
		GRATED STORMWATER PIT
		PERIMETER GRATES
		PERIMETER STRIP DRAIN

CIV - STANDARD SYMBOLS	
	DESCRIPTION
	LOCALISED FALL DIRECTION
	OVERLAND FLOW PATH

CIV - STORMWATER SERVICES		
	TYPE	DESCRIPTION
	EUCS	EXTERNAL UPSTREAM CATCHMENT SYSTEM
	STW	STORMWATER

IF BASEMENT IS NOT FULLY TANKED PROVIDE SUBSOIL DRAINAGE TO BASEMENT AND CONNECT TO PERIMETER SPOON DRAINS. PIPES NOT SHOWN FOR CLARITY. TYPICAL.

## Homes NSW

APPROVED PLANS  
PART 5 (DIV 5.1) ACTIVITY DETERMINATION

Date: 12 March 2025  
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## LOWER GROUND FLOOR DRAINAGE PLAN

Scale: 1:100

- ALL NEW WORKS SHALL MAKE A SMOOTH JUNCTION WITH EXISTING.
- THE BUILDER/CONTRACTOR SHALL LOCATE ALL EXISTING PUBLIC UTILITY SERVICES WITHIN THE SITE. FOOTPATH, AREA AND ROAD RESERVE PRIOR TO THE COMMENCEMENT OF ANY WORKS. ALL LOCATIONS AND LEVELS OF SERVICES SHALL BE REPORTED TO THE STORMWATER ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORKS TO ENSURE THERE ARE NO OBSTRUCTIONS IN THE LINE OF THE DRAINAGE DISCHARGE PIPES.
- PRIOR TO COMMENCING ANY WORKS ON THE SITE, THE BUILDER SHALL ENSURE THAT THE INVERT LEVELS OF WHERE THE SITE STORMWATER SYSTEM CONNECTION INTO COUNCIL'S KERB/DRAINAGE SYSTEM MATCH THE DESIGN LEVELS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY.
- ALL STORMWATER DRAINAGE WORK TO AVOID TREE ROOTS. WHERE NOT POSSIBLE, ALL EXCAVATIONS IN VICINITY OF TREE ROOTS ARE TO BE HAND DUG.
- ALL BASES OF PITS TO BE BENCHMARKED TO THE INVERT OF THE OUTLET PIPE WITH ALL PIPES CUT FLUSH WITH SIDE OF PIT, TO ALLOW SMOOTH FLOW OF STORMWATER.
- PROVIDE GALVANISED ANGLE SURROUNDINGS TO GRATE WHERE IN TRAFFICABLE AREAS.
- PROVIDE 100mm GAP IN BASE OF FENCE FOR EMERGENCY OVERFLOWS.
- PROVIDE SUBSOIL DRAINAGE AND OUTLETS TO ALL ON PODIUM PLANTER BOXES. OUTLET PIPES NOT SHOWN FOR CLARITY OF DOCUMENTATION.
- ALL DOWNPIPES ARE TO BE PIPE CONNECTED INTO THE FORMAL RAINWATER OR STORMWATER LINE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS OTHERWISE.
- ALL PIPES TO BE 100mmØ @ 1% MINIMUM UNLESS NOTED OTHERWISE.
- ALL BASES OF PITS TO BE BENCHMARKED TO THE INVERT OF THE OUTLET PIPE WITH ALL PIPES CUT FLUSH WITH SIDE OF PIT, TO ALLOW SMOOTH FLOW OF STORMWATER.
- PROVIDE GALVANISED ANGLE SURROUNDINGS TO GRATES IN TRAFFICABLE AREAS.

#### STORMWATER NOTES:

EXISTING COUNCIL STORMWATER SYSTEM HAS SUITABLE CAPACITY TO CATER FOR SITE DISCHARGE. REFER HYDRAULIC GRADE LINE ANALYSIS LETTER BY GREENVIEW CONSULTING.  
DISCHARGE TO EXISTING STORMWATER PIPE IN FRONTAGE PER PENRITH COUNCIL STORMWATER DRAINAGE POLICY CLAUSE 5.1.2.1.  
PER PENRITH COUNCIL STORMWATER DRAINAGE POLICY APPENDIX D - ST MARY'S EAST MAP, SITE IS NOT ZONED WITHIN MANDATORY OSD ZONE. DISCHARGE IS NOT PROPOSED TO CONNECT TO KERB AND GUTTER THEREFORE SITE IS NOT LIMITED BY MAXIMUM KERB DISCHARGE LIMIT. THEREFORE NO OSD IS REQUIRED.

REV.	DATE	BY	DESCRIPTION
8	22.10.2024	JPS	STAGE C ISSUE
7	01.10.2024	JPS	STAGE C ISSUE
6	02.08.2024	BB	PRELIMINARY ISSUE
5	01.08.2024	JPS	PRELIMINARY ISSUE
4	22.07.2024	JPS	PRELIMINARY ISSUE
3	08.07.2024	JPS	STAGE C ISSUE
2	13.06.2024	BB	STAGE B ISSUE
1	28.05.2024	JPS	PRELIMINARY ISSUE

## PROPOSED DEVELOPMENT

16,17 & 18 Stapleton Avenue, St Marys, NSW

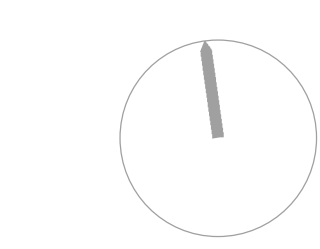
DKT Studio



DESIGN: JC

DRAWN: JC

CHECKED: AMcK

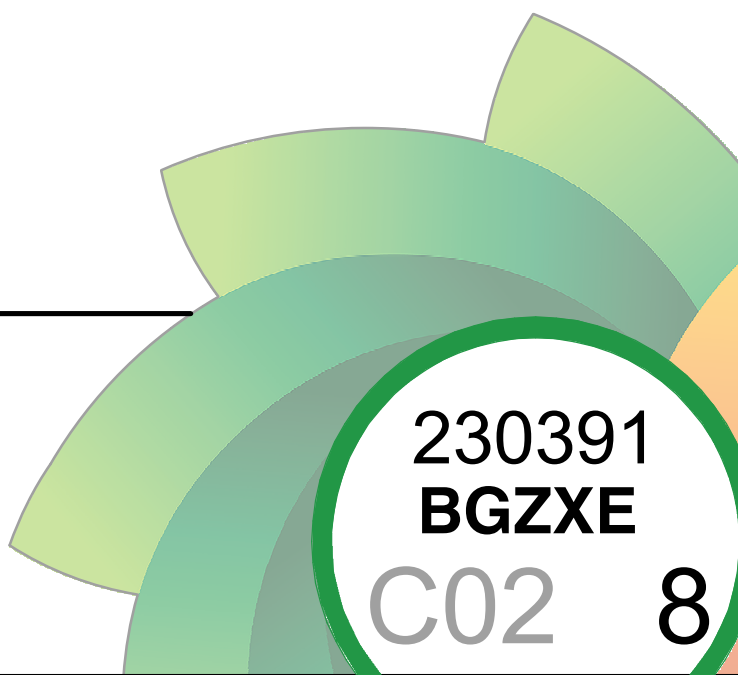


SIZE: A1

SCALE: As indicated

## CIVIL DESIGN

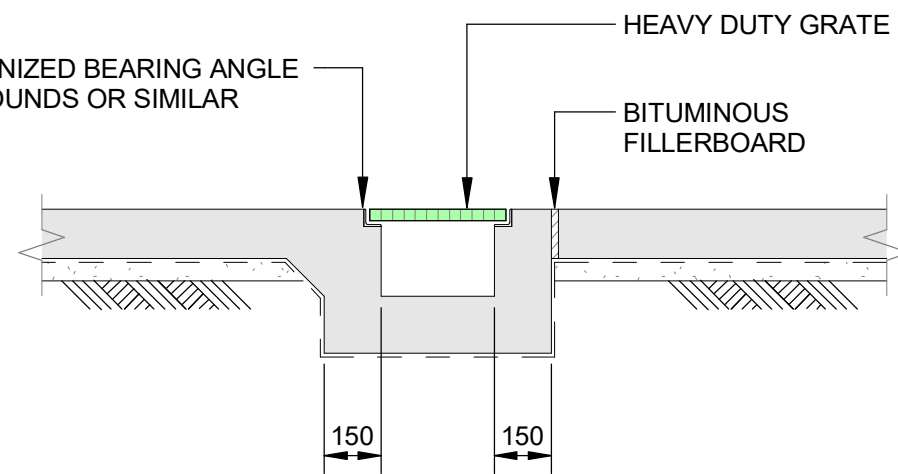
## LOWER GROUND FLOOR DRAINAGE PLAN



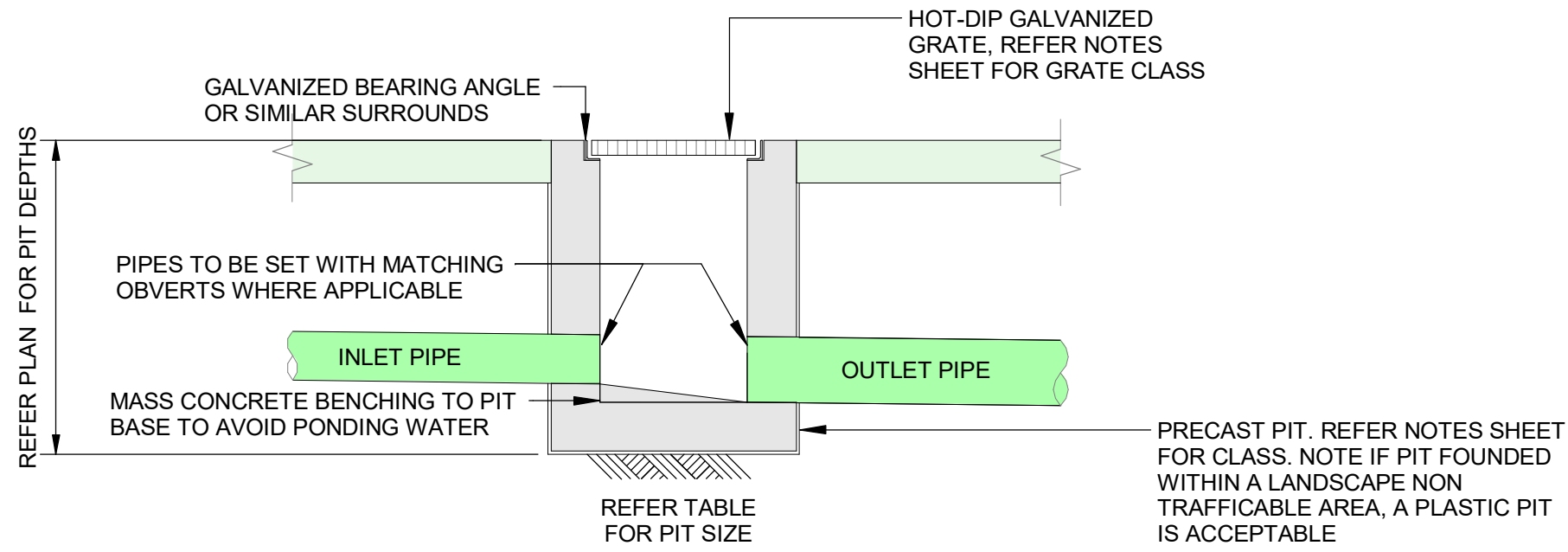








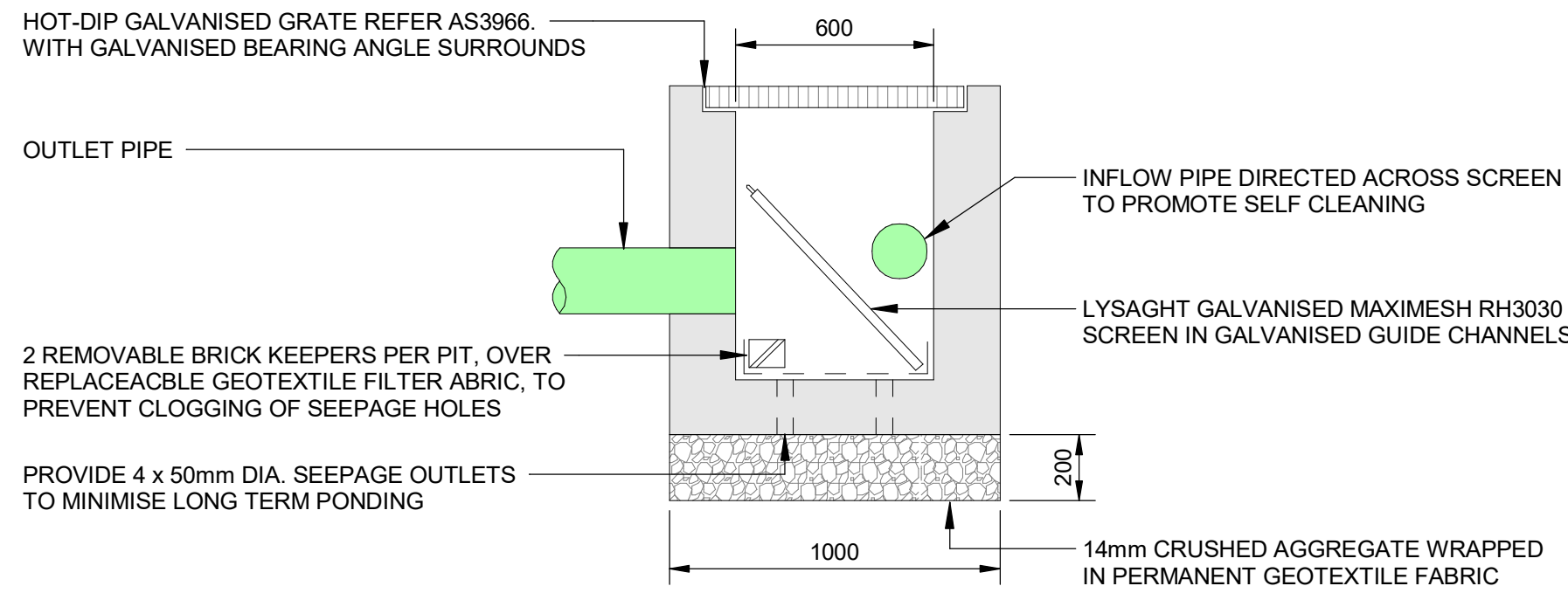
TYPICAL GRATED DRAIN DETAIL  
Scale: 1 : 20



1. ENSURE CLIMB IRONS ARE PROVIDED UNDER LID AT 300 CTS TO COUNCIL'S SPECIFICATIONS WHERE PIT DEPTH IS DEEPER THAN 1000.
2. GREENVIEW RECOMMENDS THE PLUMBER PROVIDES 90Dia x 3000 LONG SUBSOIL DRAINAGE STUB PIPE SURROUNDED WITH 100mm THICKNESS OF NOMINAL 20mm COARSE FILTER MATERIAL WRAPPED IN GEOTEXTILE FILTER FABRIC, (BIDUM A24 OR APPROVED SIMILAR), TO BE PARALLEL TO UPSTREAM SIDE OF EACH INLET PIPE.

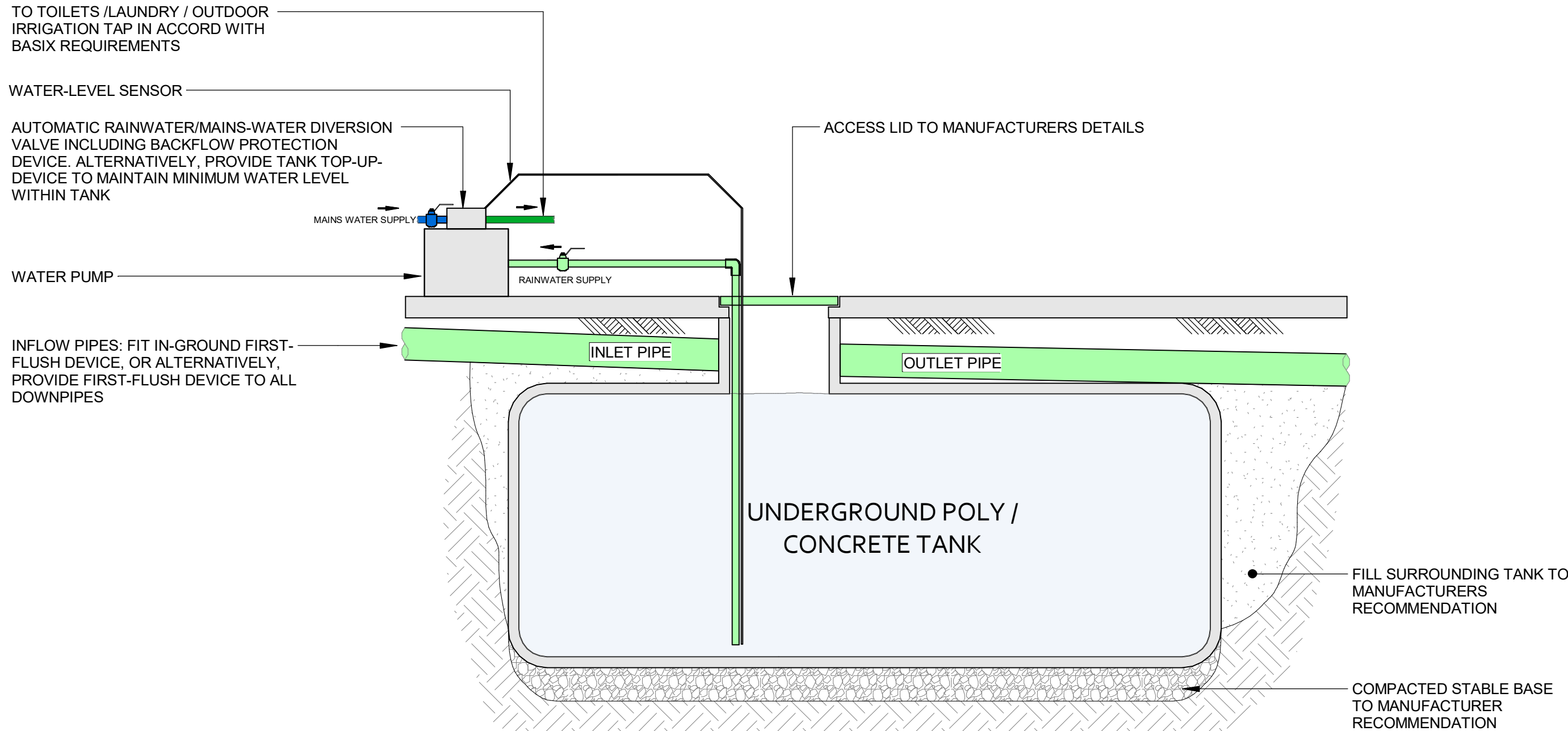
PIT SIZE	
DEPTH	PIT DIMENSION
0 - 600	450 mm x 450 mm
600 - 900	600 mm x 600 mm
900 - 1200	600 mm x 900 mm
1200 +	900 mm x 900 mm

TYPICAL CONCRETE INLET PIT - LANDSCAPE SURFACE  
Scale: 1 : 20



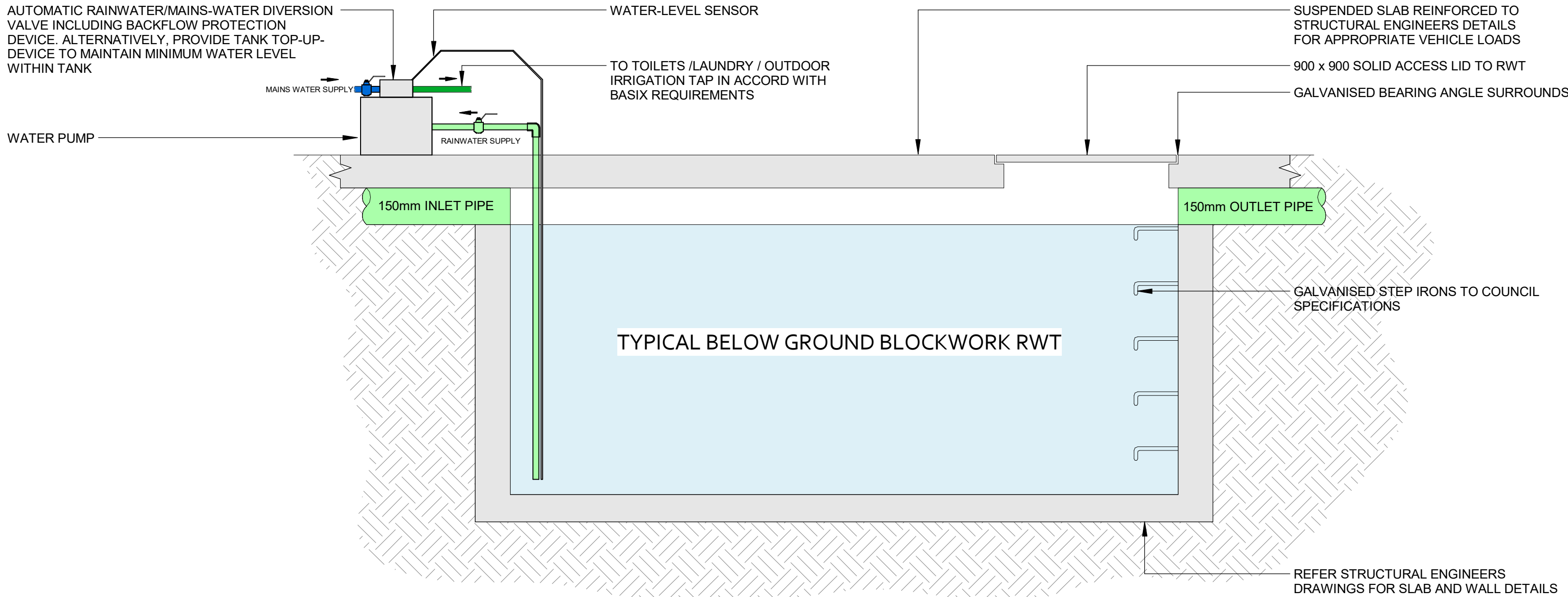
MAINTENANCE OF SILT ARRESTOR PIT IS TO BE CARRIED OUT AT LEAST EVERY SIX MONTHS AND AFTER EVERY SIGNIFICANT STORM EVENT

SILT ARRESTOR PIT  
Scale: 1 : 20



1. PROVIDE DIVERSION DEVICE AS SHOWN TO ENSURE MAINS-WATER SWITCH-OVER OCCURS ONCE WATER LEVEL IN TANK REACHES THE MINIMUM LEVEL. ALTERNATIVELY, A TOP-UP DEVICE (OR AIR-BREAK SYSTEM) MAY BE EMPLOYED TO ENSURE THE MINIMUM AFTER LEVEL IN THE TANK IS MAINTAINED.
2. RAINWATER FIXTURES, INFLOW AND OUTFLOW PIPES TO AS3500.1 (2003).
3. ANY CONTAINMENT/BACKFLOW PREVENTION DEVICE TO BE IN ACCORD WITH THE LOCAL WATER AUTHORITY.
4. RAINWATER USAGE AND MINIMUM VOLUMES TO BASIX OR AS SPECIFIED BY THE STORMWATER ENGINEER.
5. ALL PIPING SYSTEMS DELIVERING RAINWATER TO TAPS, FIXTURES, OUTLETS OR APPLIANCES MUST BE INSTALLED BY A LICENSED PLUMBER.

TYPICAL BELOW GROUND RAINWATER TANK  
Scale: 1 : 20



1. PROVIDE DIVERSION DEVICE AS SHOWN TO ENSURE MAINS-WATER SWITCH-OVER OCCURS ONCE WATER LEVEL IN TANK REACHES THE MINIMUM LEVEL. ALTERNATIVELY, A TOP-UP DEVICE (OR AIR-BREAK SYSTEM) MAY BE EMPLOYED TO ENSURE THE MINIMUM AFTER LEVEL IN THE TANK IS MAINTAINED.
2. RAINWATER FIXTURES, INFLOW AND OUTFLOW PIPES TO AS3500.1 (2003).
3. ANY CONTAINMENT/BACKFLOW PREVENTION DEVICE TO BE IN ACCORD WITH THE LOCAL WATER AUTHORITY.
4. RAINWATER USAGE AND MINIMUM VOLUMES TO BASIX OR AS SPECIFIED BY THE STORMWATER ENGINEER.
5. ALL PIPING SYSTEMS DELIVERING RAINWATER TO TAPS, FIXTURES, OUTLETS OR APPLIANCES MUST BE INSTALLED BY A LICENSED PLUMBER.

TYPICAL CAST INSITU (BELOW GROUND) RAINWATER TANK  
Scale: 1 : 20

REV.	DATE	BY	DESCRIPTION
5	01.10.2024	JPS	STAGE C ISSUE
4	02.08.2024	BB	PRELIMINARY ISSUE
3	01.08.2024	JPS	PRELIMINARY ISSUE
2	22.07.2024	JPS	PRELIMINARY ISSUE
1	08.07.2024	JPS	STAGE C ISSUE

PROPOSED DEVELOPMENT

16,17 & 18 Stapleton Avenue, St Marys, NSW

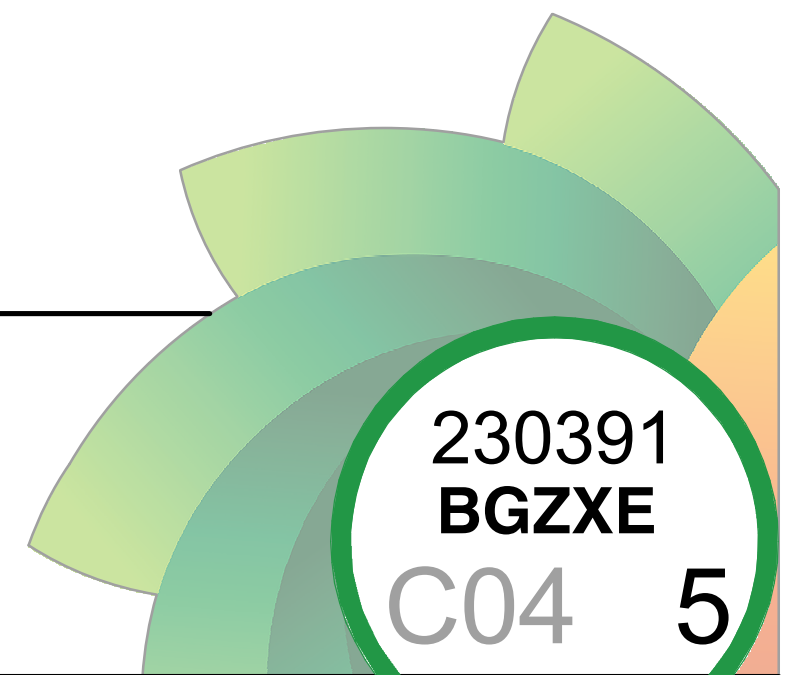
DKT Studio



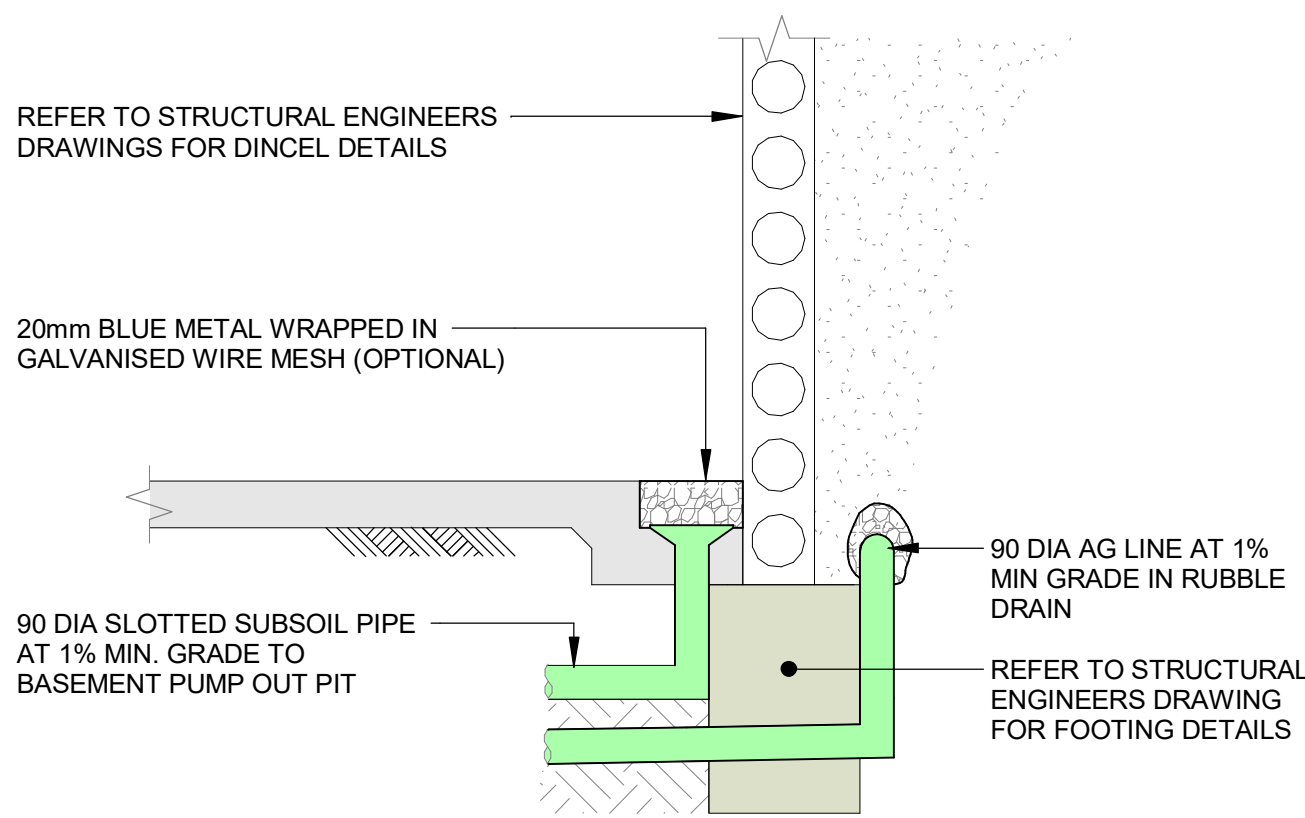
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CIVIL DESIGN

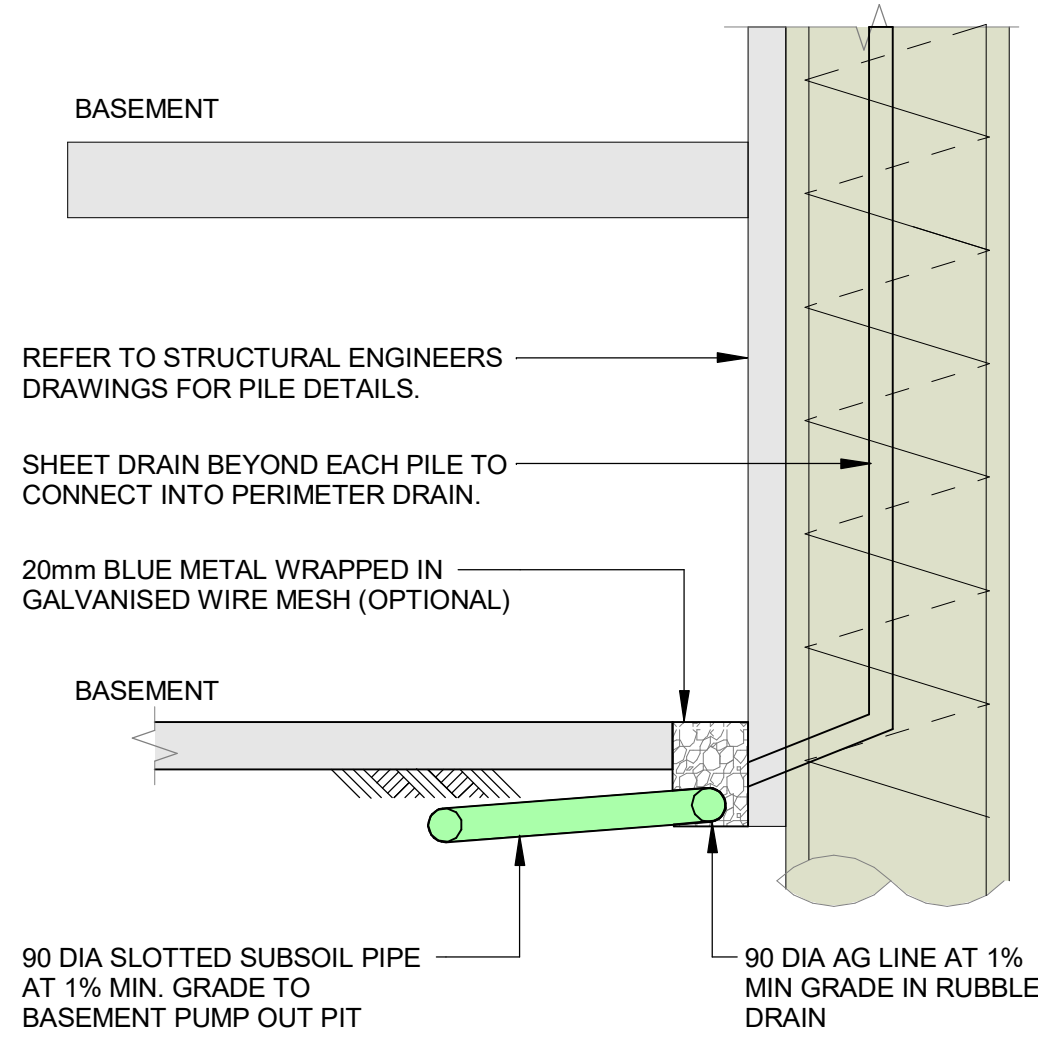
SITE STORMWATER DETAILS SHEET 1







TYPICAL GROUNDWATER DRAINAGE DETAIL (DINCEL WALL)  
Scale: 1 : 20



TYPICAL GROUNDWATER DRAINAGE DETAIL (PILE WALL)  
Scale: 1 : 20

Homes NSW

APPROVED PLANS  
PART 5 (DIV 5.1) ACTIVITY DETERMINATION

Date: 12 March 2025  
Project No.: BGZXE

Determined by the New South Wales Land and Housing Corporation



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REV.	DATE	BY	DESCRIPTION
5	01.10.2024	JPS	STAGE C ISSUE
4	02.08.2024	BB	PRELIMINARY ISSUE
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PROPOSED DEVELOPMENT

16,17 & 18 Stapleton Avenue, St Marys, NSW

DKT Studio



DESIGN: JC

DRAWN: JC

CHECKED: AMcK

SIZE: A1

SCALE: 1 : 20

CIVIL DESIGN

SITE STORMWATER DETAILS SHEET 2

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BGZXE

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5





## GENERAL INSTRUCTIONS

- THIS SOIL AND WATER MANAGEMENT PLAN IS TO BE READ IN CONJUNCTION WITH OTHER ENGINEERING PLANS RELATING TO THIS DEVELOPMENT.
- CONTRACTORS WILL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE UNDERTAKEN AS INSTRUCTED IN THIS SPECIFICATION AND CONSTRUCTED FOLLOWING THE GUIDELINES OF "MANAGING URBAN STORMWATER SOILS AND CONSTRUCTION", DEPT OF HOUSING, 1998 (BLUE BOOK).
- ALL SUBCONTRACTORS WILL BE INFORMED OF THEIR RESPONSIBILITIES IN REDUCING THE POTENTIAL FOR SOIL EROSION AND POLLUTION TO DOWNSLOPE AREAS.
- THESE PLANS SHALL BE READ IN CONJUNCTION WITH OTHER RELEVANT CONSULTANTS' PLANS, SPECIFICATIONS, CONDITIONS OF DEVELOPMENT CONSENT AND CONSTRUCTION CERTIFICATE REQUIREMENTS, WHERE DISCREPANCIES ARE FOUND NOTIFY ENGINEER IMMEDIATELY FOR VERIFICATION.
- WHERE THESE PLANS ARE NOTED FOR DEVELOPMENT APPLICATION PURPOSES ONLY, THEY SHALL NOT BE USED FOR OBTAINING A CONSTRUCTION CERTIFICATE NOR USED FOR CONSTRUCTION PURPOSES.

## LAND DISTURBANCE INSTRUCTIONS

- DISTURBANCE TO BE NO FURTHER THAN 5 (PREFERABLY 2) METRES FROM THE EDGE OF ANY ESSENTIAL ENGINEERING ACTIVITY AS SHOWN ON APPROVED PLANS. ALL SITE WORKERS WILL CLEARLY RECOGNISE THESE ZONES THAT, WHERE APPROPRIATE, ARE IDENTIFIED WITH BARRIER FENCING (UPSLOPE) AND SEDIMENT FENCING (DOWNSLOPE) OR SIMILAR MATERIALS.
- ACCESS AREAS ARE TO BE LIMITED TO A MAXIMUM WIDTH OF 10 METRES THE SITE MANAGER WILL DETERMINE AND MARK THE LOCATION OF THESE ZONES ON-SITE. ALL SITE WORKERS WILL CLEARLY RECOGNISE THESE BOUNDARIES THAT, WHERE APPROPRIATE, ARE IDENTIFIED WITH BARRIER FENCING (UPSLOPE) AND SEDIMENT FENCING (DOWNSLOPE) OR SIMILAR MATERIALS.
- ENTRY TO LANDS NOT REQUIRED FOR CONSTRUCTION OR ACCESS IS PROHIBITED EXCEPT FOR ESSENTIAL THINNING OF PLANT GROWTH.
- WORKS ARE TO PROCEED IN THE FOLLOWING SEQUENCE.
  - INSTALL ALL BARRIER AND SEDIMENT FENCING WHERE SHOWN ON THE PLAN.
  - CONSTRUCT THE STABILISED SITE ACCESS.
  - CONSTRUCT DIVERSION DRAINS AS REQUIRED.
  - INSTALL MESH AND GRAVEL INLETS FOR ANY ADJACENT KERB INLETS.
  - INSTALL GEOTEXTILE INLET FILTERS AROUND ANY ON-SITE DROP INLET PITS.
  - CLEAR SITE AND STRIP AND STOCKPILE TOPSOIL IN LOCATIONS SHOWN ON THE PLAN.
  - UNDERTAKE ALL ESSENTIAL CONSTRUCTION WORKS ENSURING THAT ROOF AND/OR PAVED AREA STORMWATER SYSTEMS ARE CONNECTED TO PERMANENT DRAINAGE AS SOON AS PRACTICABLE.
  - GRADE LOT AREAS TO FINAL GRADES AND APPLY PERMANENT STABILISATION (LANDSCAPING) WITHIN 20 DAYS OF COMPLETION OF CONSTRUCTION WORKS.
  - REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER THE PERMANENT LANDSCAPING HAS BEEN COMPLETED.
- ENSURE THAT SLOPE LENGTHS DO NOT EXCEED 80 METRES WHERE PRACTICABLE. SLOPE LENGTHS ARE DETERMINED BY SILTATION FENCING AND CATCH DRAIN SPACING.
- ON COMPLETION OF MAJOR WORKS LEAVE DISTURBED LANDS WITH A SCARIFIED SURFACE TO ENCOURAGE WATER INFILTRATION AND ASSIST WITH KEYING TOPSOIL LATER.

## SITE MAINTENANCE INSTRUCTIONS

- THE SITE SUPERINTENDENT WILL INSPECT THE SITE AT LEAST WEEKLY AND AT THE CONCLUSION OF EVERY STORM EVENT TO:
  - ENSURE THAT DRAINS OPERATE PROPERLY AND TO EFFECT ANY NECESSARY REPAIRS.
  - REMOVE SPILLED SAND OR OTHER MATERIALS FROM HAZARD AREAS, INCLUDING LANDS CLOSER THAN 5 METRES FROM AREAS OF LIKELY CONCENTRATED OR HIGH VELOCITY FLOWS ESPECIALLY WATERWAYS AND PAVED AREAS.
  - REMOVE TRAPPED SEDIMENT WHENEVER THE DESIGN CAPACITY OF THAT STRUCTURE HAS BEEN EXCEEDED.
  - ENSURE REHABILITATED LANDS HAVE EFFECTIVELY REDUCED THE EROSION HAZARD AND NOT TO INITIATE UPGRADING OR REPAIR AS NECESSARY.
  - CONSTRUCT ADDITIONAL EROSION AND/OR SEDIMENT CONTROL WORKS AS MIGHT BECOME NECESSARY TO ENSURE THE DESIRED PROTECTION IS GIVEN TO DOWNSLOPE LANDS AND WATERWAYS. MAKE ONGOING CHANGES TO THE PLAN WHERE IT PROVES INADEQUATE IN PRACTICE OR IS SUBJECTED TO CHANGES IN CONDITIONS ON THE WORK-SITE OR ELSEWHERE IN THE CATCHMENT.
  - MAINTAIN EROSION AND SEDIMENT CONTROL STRUCTURES IN A FULLY FUNCTIONING CONDITION UNTIL ALL EARTHWORK ACTIVITIES ARE COMPLETED AND THE SITE IS REHABILITATED.

THE SITE SUPERINTENDENT WILL KEEP A LOGBOOK MAKING ENTRIES AT LEAST WEEKLY, IMMEDIATELY BEFORE FORECAST RAIN AND AFTER RAINFALL. ENTRIES WILL INCLUDE:

- THE VOLUME AND INTENSITY OF ANY RAINFALL EVENTS.
- THE CONDITION OF ANY SOIL AND WATER MANAGEMENT WORKS.
- THE CONDITION OF VEGETATION AND ANY NEED TO IRRIGATE.
- THE NEED FOR DUST PREVENTION STRATEGIES.
- ANY REMEDIAL WORKS TO BE UNDERTAKEN.

THE LOGBOOK WILL BE KEPT ON-SITE AND MADE AVAILABLE TO ANY AUTHORISED PERSON UPON REQUEST. IT WILL BE GIVEN TO THE PROJECT MANAGER AT THE CONCLUSION OF THE WORKS.

## SAFETY IN DESIGN NOTES

- THERE ARE INHERENT RISKS WITH CONSTRUCTING, MAINTAINING, OPERATING, DEMOLISHING, DISMANTLING AND DISPOSING. WE NOTE THIS DESIGN IS TYPICAL OF SIMILAR DESIGNS. AS FAR AS IS REASONABLY PRACTICABLE RISKS HAVE BEEN ELIMINATED OR MINIMISED THROUGH THE DESIGN PROCESS. HAZARD CONTROLS MUST STILL BE IMPLEMENTED BY THE CONTRACTOR, OWNER OR OPERATOR TO ENSURE THE SAFETY OF WORKERS. GREENVIEW ASSESSMENT DID NOT IDENTIFY ANY UNIQUE RISKS ASSOCIATED WITH THE DESIGN.

## SEDIMENT CONTROL INSTRUCTIONS

- SEDIMENT FENCES WILL BE INSTALLED AS SHOWN ON THE PLAN AND ELSEWHERE AT THE DISCRETION OF THE SITE SUPERINTENDENT TO CONTAIN SOIL AS NEAR AS POSSIBLE TO THEIR SOURCE.
- SEDIMENT FENCES WILL NOT HAVE CATCHMENT AREAS EXCEEDING 900 SQUARE METRES AND HAVE A STORAGE DEPTH OF AT LEAST 0.6 METRES.
- SEDIMENT REMOVED FROM ANY TRAPPING DEVICES WILL BE RELOCATED WHERE FURTHER POLLUTION TO DOWNSLOPE LANDS AND WATERWAYS CANNOT OCCUR.
- STOCKPILES ARE NOT TO BE LOCATED WITHIN 5 METRES OF HAZARD AREAS INCLUDING AREAS OF HIGH VELOCITY FLOWS SUCH AS WATERWAYS, PAVED AREAS AND DRIVEWAYS.
- WATER WILL BE PREVENTED FROM DIRECTLY ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR WATER HAS BEEN TREATED BY AN APPROVED DEVICE.
- TEMPORARY SEDIMENT TRAPS WILL REMAIN IN PLACE UNTIL AFTER THE LANDS THEY ARE PROTECTING ARE COMPLETELY REHABILITATED.
- ACCESS TO SITES SHOULD BE STABILISED TO REDUCE THE LIKELIHOOD OF VEHICLES TRACKING SOIL MATERIALS ONTO PUBLIC ROADS AND ENSURE ALL-WEATHER ENTRY/EXIT.

## SOIL EROSION CONTROL INSTRUCTIONS

- EARTH BATTERS WILL BE CONSTRUCTED WITH AS LOW A GRADIENT AS PRACTICABLE BUT NO STEEPER, UNLESS OTHERWISE NOTED, THAN:
  - 2(H):1(V) WHERE SLOPE LENGTH LESS THAN 12 METRES.
  - 2.5(H):1(V) WHERE SLOPE LENGTH BETWEEN 12 AND 16 METRES.
  - 3(H):1(V) WHERE SLOPE LENGTH BETWEEN 12 AND 20 METRES.
  - 4(H):1(V) WHERE SLOPE LENGTH GREATER THAN 20 METRES.
- ALL WATERWAYS, DRAINS, SPILLWAYS AND THEIR OUTLETS WILL BE CONSTRUCTED TO BE STABLE IN AT LEAST THE 1:20 YEAR ARI, TIME OF CONCENTRATION STORM EVENT.
- WATERWAYS AND OTHER AREAS SUBJECT TO CONCENTRATED FLOWS AFTER CONSTRUCTION ARE TO HAVE A MAXIMUM GROUND COVER C-FACTOR OF 0.05 (50% GROUND COVER) WITHIN 10 WORKING DAYS FROM COMPLETION OF FORMATION. FLOW VELOCITIES ARE TO BE LIMITED TO THOSE SHOWN IN TABLE 5-1 OF "MANAGING URBAN STORMWATER-SOILS AND CONSTRUCTION", DEPT OF HOUSING 1998 (BLUE BOOK). FOOT AND VEHICULAR TRAFFIC WILL BE PROHIBITED IN THESE AREAS.
- STOCKPILES AFTER CONSTRUCTION ARE TO HAVE A MAXIMUM GROUND COVER C-FACTOR OF 0.1 (60% GROUND COVER) WITHIN 10 WORKING DAYS FROM COMPLETION OF FORMATION.
- ALL LANDS, INCLUDING WATERWAYS AND STOCKPILES, DURING CONSTRUCTION ARE TO HAVE A MAXIMUM GROUND COVER C-FACTOR OF 0.15 (50% GROUND COVER) WITHIN 20 WORKING DAYS FROM INACTIVITY EVEN THOUGH WORKS MAY CONTINUE LATER.
- OR AREAS OF SHEET FLOW USE THE FOLLOWING GROUND COVER PLANT SPECIES FOR TEMPORARY COVER: JAPANESE MILLET 20 KG/HA AND OATS 20 KG/HA.
- PERMANENT REHABILITATION OF LANDS AFTER CONSTRUCTION WILL ACHIEVE A GROUND COVER C-FACTOR OF LESS THAN 0.1 AND LESS THAN 0.05 WITHIN 60 DAYS. NEWLY PLANTED LANDS WILL BE WATERED REGULARLY UNTIL AN EFFECTIVE COVER IS ESTABLISHED AND PLANTS ARE GROWING VIGOROUSLY. FOLLOW-UP SEED AND FERTILISER WILL BE APPLIED AS NECESSARY.
- REVEGETATION SHOULD BE AIMED AT RE-ESTABLISHING NATURAL SPECIES. NATURAL SURFACE SOILS SHOULD BE REPLACED AND NON-PERSISTANT ANNUAL COVER CROPS SHOULD BE USED.

## WASTE CONTROL INSTRUCTIONS

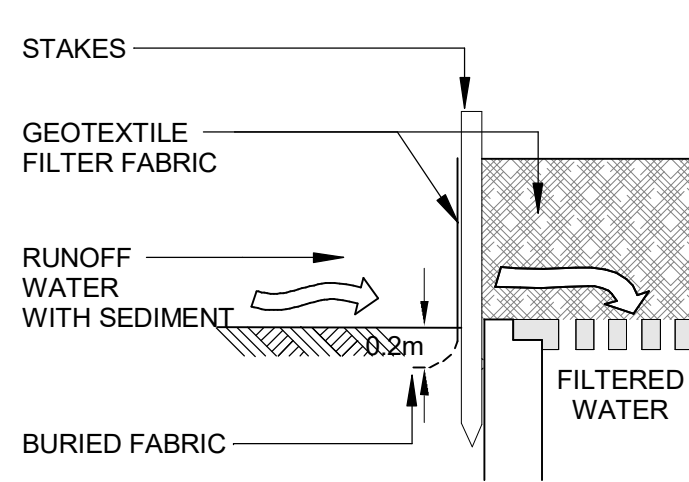
- ACCEPTABLE BINS WILL BE PROVIDED FOR ANY CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHING, LIGHTWEIGHT WASTE MATERIALS AND LITTER. CLEARANCE SERVICES WILL BE PROVIDED AT LEAST WEEKLY. DISPOSAL OF WASTE WILL BE IN A MANNER APPROVED BY THE SITE SUPERINTENDENT.
- ALL POSSIBLE POLLUTANT MATERIALS ARE TO BE STORED WELL CLEAR OF ANY POORLY DRAINED AREAS, FLOOD PHONE AREAS, STREAMBANKS, CHANNELS AND STORMWATER DRAINAGE AREAS. STORE SUCH MATERIALS IN A DESIGNATED AREA UNDER COVER WHERE POSSIBLE AND WITHIN CONTAINMENT BUNDS.
- ALL SITE STAFF AND SUB-CONTRACTORS ARE TO BE INFORMED OF THEIR OBLIGATION TO USE WASTE CONTROL FACILITIES PROVIDED.
- ANY DE-WATERING ACTIVITIES ARE TO BE CLOSELY MONITORED TO ENSURE THAT WATER IS NOT POLLUTED BY SEDIMENT, TOXIC MATERIALS OR PETROLEUM PRODUCTS.
- PROVIDE DESIGNATED VEHICULAR WASHDOWN AND MAINTENANCE AREAS WHICH ARE TO HAVE CONTAINMENT BUNDS.

## PROCEDURE FOR DE-WATERING

- ENSURE PERMISSION FOR DE-WATERING IS RECEIVED FROM AUTHORITIES BEFORE PUMPING OUT.
- AN ON-SITE TREATMENT PROCESS DISCHARGING TO THE STORMWATER SYSTEM WILL BE IMPLEMENTED. ALL SITE WATERS DURING CONSTRUCTION WILL BE CONTAINED ON SITE AND RELEASED ONLY WHEN pH IS BETWEEN 8.5 & 6.5. SUSPENDED SOLIDS ARE LESS THAN 50mg/L, TURBIDITY LESS THAN 100 NTUS, OIL AND GREASE LESS THAN 10mg/L AND BIOCHEMICAL OXYGEN DEMAND (BOD5) LESS THAN 30mg/L (FOR STORMS LESS THAN 1 IN 5 YEAR EVENTS).
- METHODS OF SAMPLING AND ANALYSIS OF WATER QUALITY WILL BE IN ACCORDANCE WITH THE APPLICABLE METHOD LISTED IN THE EPA PUBLISHED APPROVED METHODS FOR THE SAMPLING ANALYSIS OF WATER POLLUTANTS IN NEW SOUTH WALES.
- WHERE LABORATORY ANALYSIS IS REQUIRED AS INDICATED BY IN-SITU TESTING, APPROPRIATE SAMPLE BOTTLES AND PRESERVATIVES WILL BE USED AND GUIDANCE FOR THE SAMPLING METHOD OBTAINED FROM APPLICABLE PARTS OF ASS667.1 AND ASS667.5. ANALYSIS WILL BE UNDERTAKEN WHERE PRACTICAL BY A NATA REGISTERED LABORATORY CERTIFIED TO PERFORM THE APPLICABLE ANALYSIS.
- AS EXCAVATION TO TOP SOIL PROGRESSES, ANY WATER COLLECTED AT THE BOTTOM OF EXCAVATIONS WILL BE DIVERTED TO A TEMPORARY SEDIMENTATION BASIN OR SETTLEMENT TANK. IF THE WATER CONTAINS ONLY SEDIMENTS, IT WILL BE FILTERED AND PUMPED TO STORMWATER. BEFORE THIS CAN HAPPEN IT MUST CONTAIN LESS THAN 50mg/L TOTAL SUSPENDED SOLIDS.
- POLLUTED WATER MUST NOT ENTER THE STORMWATER SYSTEM. IN SOME CIRCUMSTANCES, A LIQUID WASTE COMPANY MAY BE REQUIRED TO COLLECT CONTAMINATED WATER FOR DISPOSAL AT A LICENSED TREATMENT FACILITY.

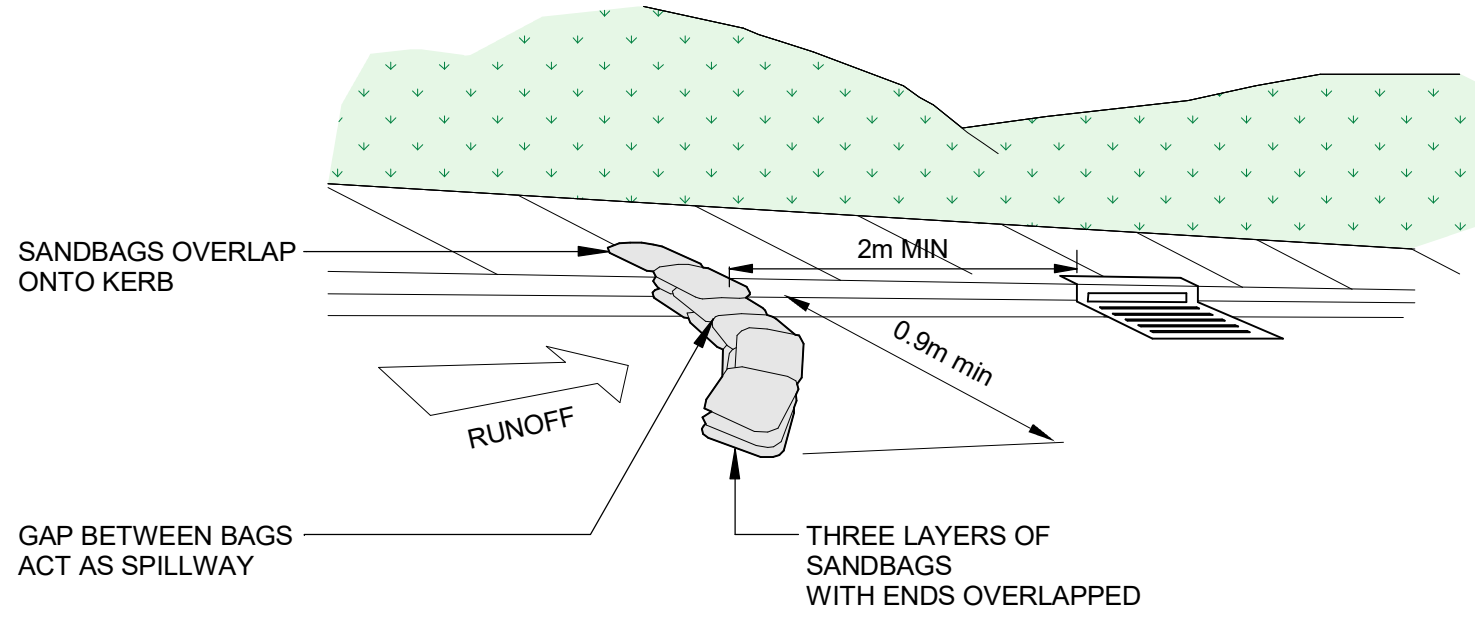
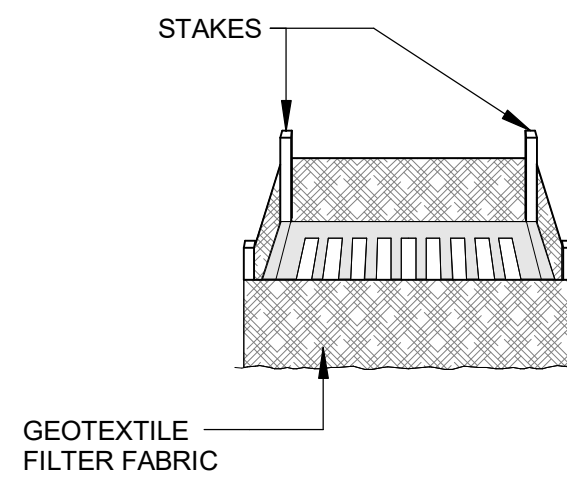
THE BUILDER AND EXCAVATION CONTRACTOR ARE TO ENSURE ANY WATER DISCHARGED INTO COUNCIL STORMWATER SYSTEM FROM THE EXCAVATED PORTIONS OF THE SITE COMPLY WITH THE RELEVANT ENVIRONMENTAL CRITERIA AND APPROPRIATE CONTROL METHODS SHALL BE ADOPTED. THE PROPOSED CONTROL METHODS ARE STRICTLY TO COMPLY WITH THE ANZECC 2000 GUIDELINES.

WHERE WORK INVOLVES EXCAVATION OR STOCKPILING OF RAW OR LOOSE MATERIALS, EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PROVIDED WHOLLY WITHIN THE SITE WHILST WORK IS BEING CARRIED OUT IN ORDER TO PREVENT SEDIMENT AND SILT FROM SITE WORKS BEING CONVEYED BY STORMWATER INTO COUNCIL'S STORMWATER SYSTEM. NATURAL WATER COURSES, BUSHLANDS, AND NEIGHBORING PROPERTIES. IN THIS REGARD, ALL STORMWATER DISCHARGE FROM THE SITE SHALL MEET THE REQUIREMENTS OF THE PROTECT OF ENVIRONMENT OPERATIONS ACT 1997 AND THE DEPARTMENT OF ENVIRONMENT, CLIMATE CHANGE AND WATER GUIDELINES. THE CONTROL DEVICES ARE TO BE MAINTAINED IN A SERVICEABLE CONDITION AT ALL TIMES.



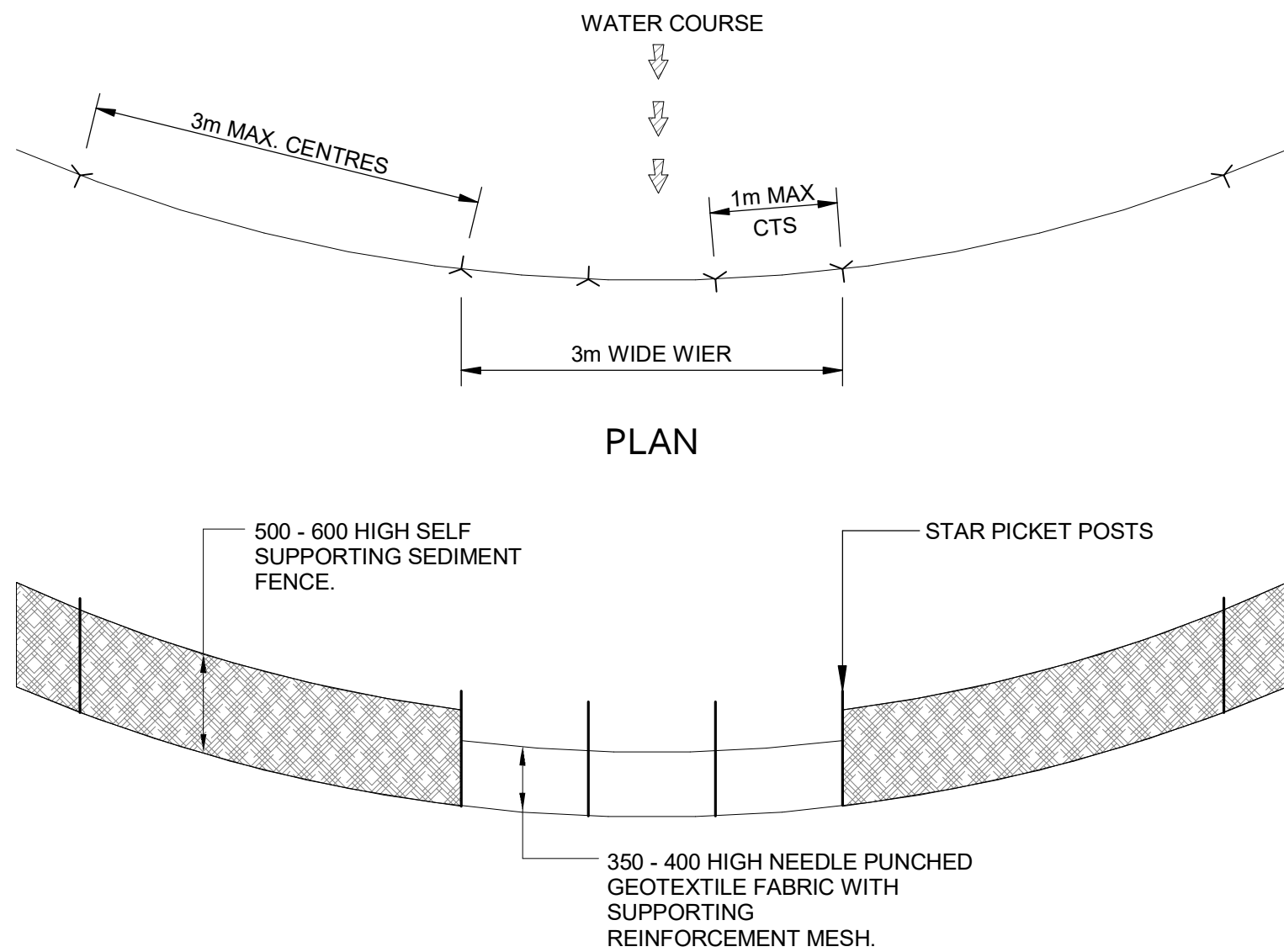
## INLET SEDIMENT TRAP

Scale: 1 : 20



## SANDBAG SEDIMENT TRAP

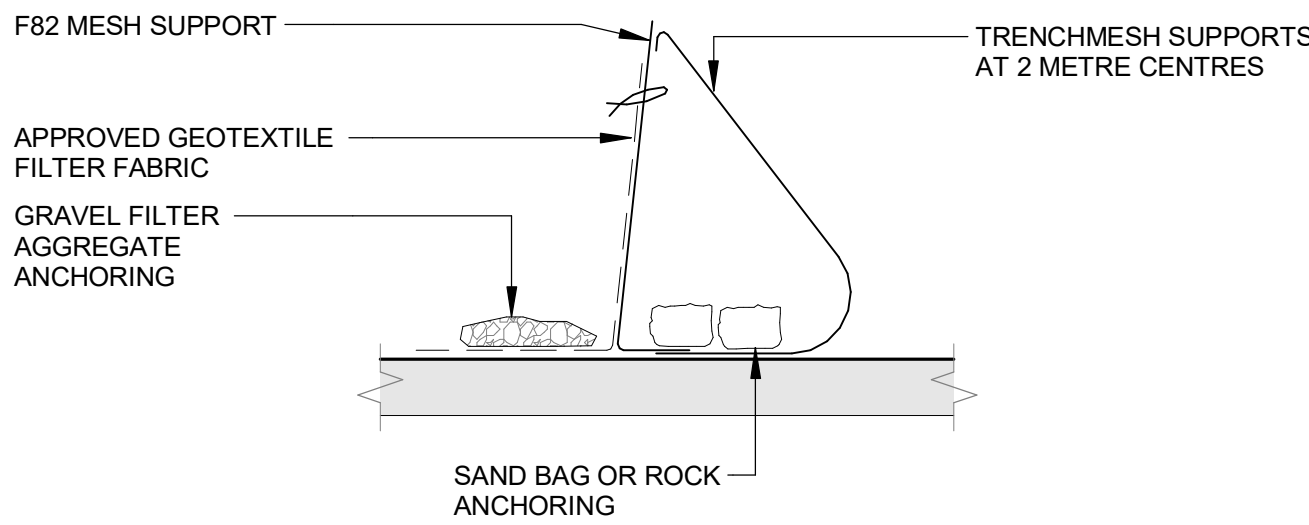
Scale: 1 : 20



## ELEVATION

## ESM SEDIMENT FENCE WEIR

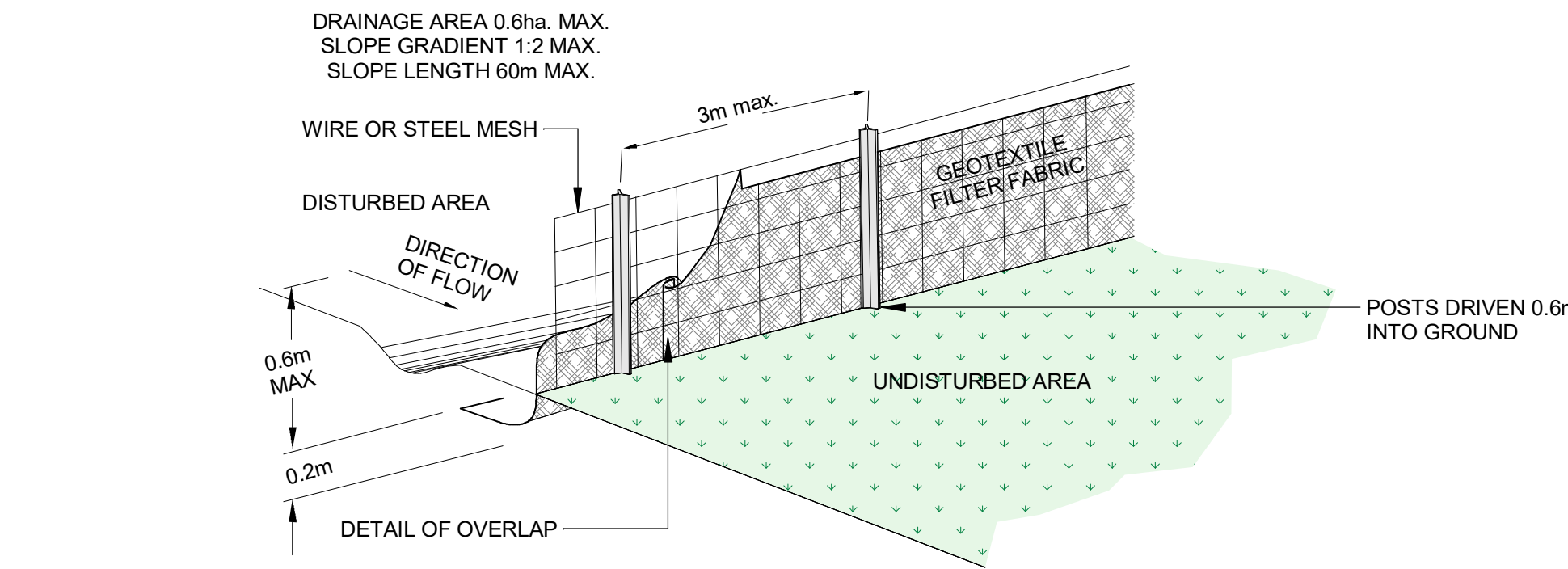
Scale: 1 : 20



- CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
- FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
- JOIN SECTIONS OF FABRIC AT A SUPPORT WITH A 150mm OVERLAP.
- REFER TO DETAIL SD 6-9 "BLUE BOOK"

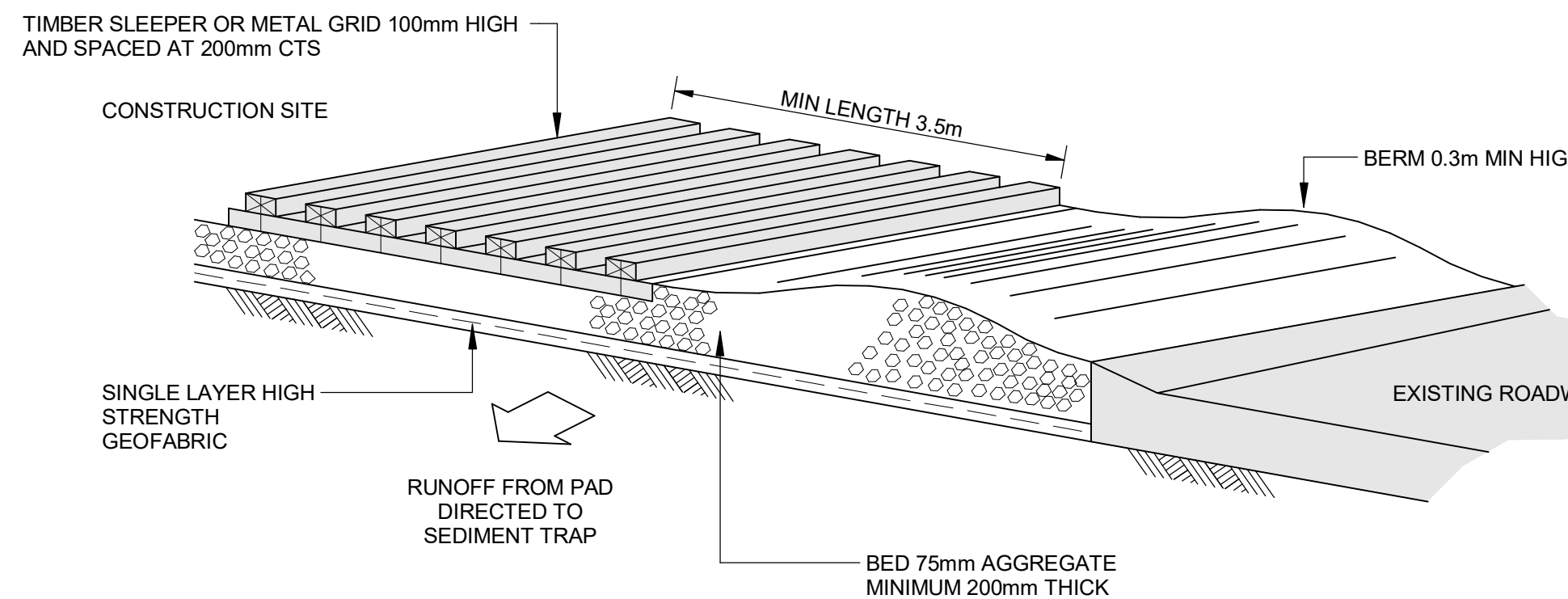
## SILT FENCE BARRIER DETAIL

Scale: 1 : 20



## SEDIMENT SILT FENCE

Scale: 1 : 20



## TEMPORARY CONSTRUCTION EXIT

Scale: 1 : 20

## PROPOSED DEVELOPMENT

16,17 & 18 Stapleton Avenue, St Marys, NSW

DKT Studio



DESIGN: JC DRAWN: JC CHECKED: AMcK SIZE: A1 SCALE: As indicated

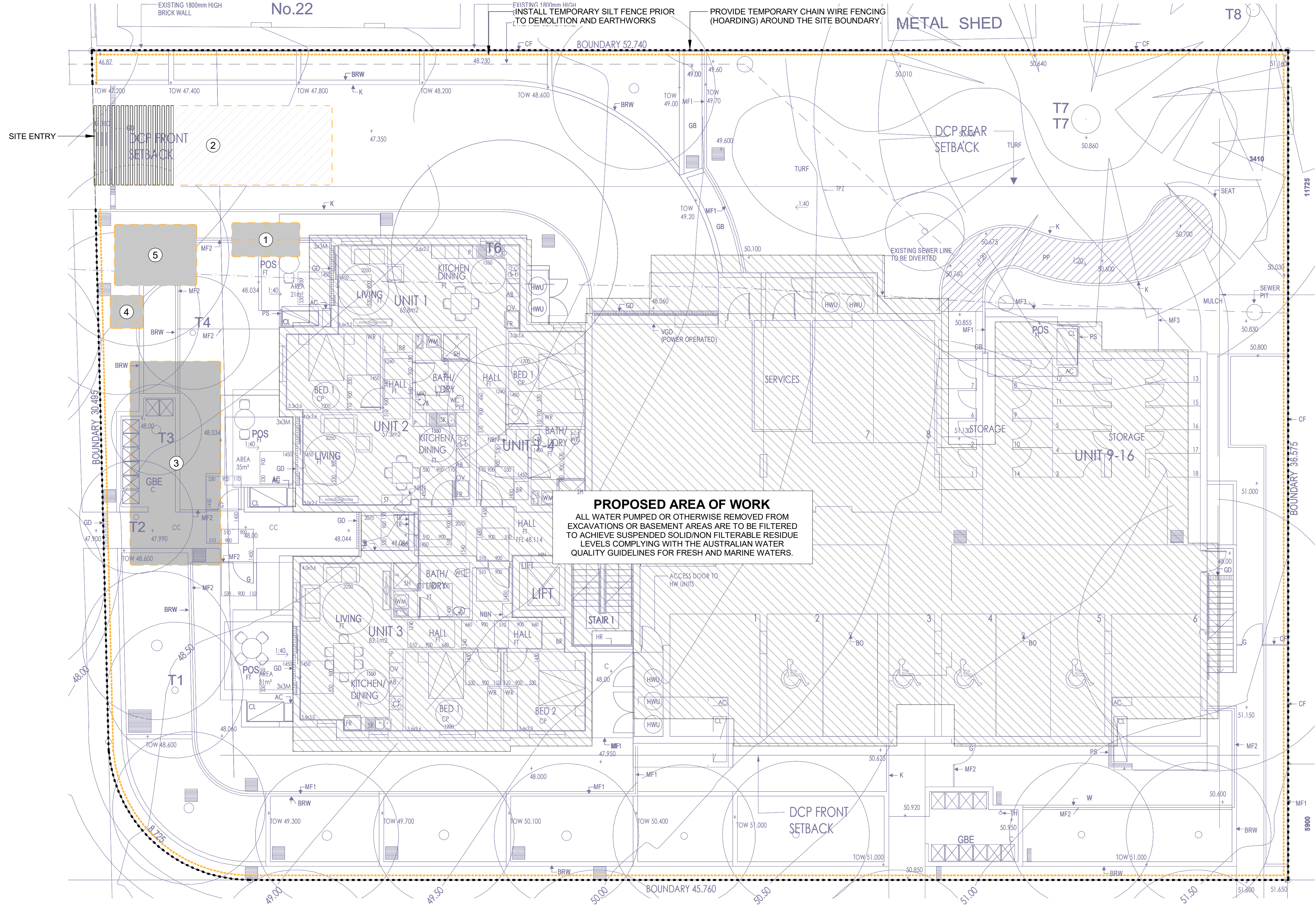
## CIVIL DESIGN

## NOTES & LEGENDS

230391  
BGZXE

ESM13





SITE MANAGEMENT LEGEND

- CHAIN WIRE FENCE
- SILT FENCE

ESM - SITE MANAGEMENT SCHEDULE	
TYPE	DESCRIPTION
1	SKIP BIN (PROVIDE COVER)
2	SITE ACCESS GRATE
3	MATERIALS STOCKPILE (RELOCATE AS NECESSARY)
4	TOILET FACILITY
5	SITE SHED

ENVIRONMENTAL SITE MANAGEMENT LAYOUT  
Scale: 1 : 100

FOR NOISE CONTROL, VIBRATION MANAGEMENT, DUST CONTROL, ODOUR CONTROL REFER TO NOTES ON THIS DRAWING.  
FOR OTHER NOTES (LITTER/WASTE, STORMWATER) REFER ESM1

WHERE WORK INVOLVES EXCAVATION OR STOCKPILING OF RAW OR LOOSE MATERIALS, EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PROVIDE WHOLLY WITHIN THE SITE WHILST WORK IS BEING CARRIED OUT IN ORDER TO PREVENT SEDIMENT AND SILT FROM SITE WORKS BEING CONVEYED BY STORMWATER INTO COUNCIL'S STORMWATER SYSTEM. NATURAL WATER COURSES, BUSHLANDS, AND NEIGHBORING PROPERTIES. IN THIS REGARD, ALL STORMWATER DISCHARGE FROM THE SITE SHALL MEET THE REQUIREMENTS OF THE PROTECT OF ENVIRONMENT OPERATIONS ACT 1997 AND THE DEPARTMENT OF ENVIRONMENT, CLIMATE CHANGE AND WATER GUIDELINES. THE CONTROL DEVICES ARE TO BE MAINTAINED IN A SERVICEABLE CONDITION AT ALL TIMES.

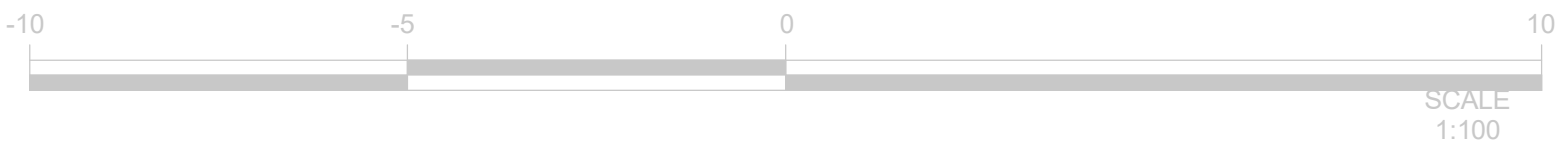
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Homes NSW

APPROVED PLANS  
PART 5 (DIV 5.1) ACTIVITY DETERMINATION

Date: 12 March 2025  
Project No.: BGZXE

Determined by the New South Wales Land and Housing Corporation



- NOISE CONTROL
- WHERE POSSIBLE, STRATEGICALLY PLACE NOISE-GENERATING PLANT / EQUIPMENT TO TAKE ADVANTAGE OF NATURAL SCREENING (E.G. BUILDINGS)
  - AVOID PLACING NOISE-GENERATING PLANT / EQUIPMENT CLOSE TOGETHER AND/OR OPERATE SIMULTANEOUSLY
  - MAINTAIN ALL PLANT & EQUIPMENT TO MINIMISE NOISE EMISSIONS (E.G. REPAIR BROKEN SILENCING EQUIPMENT, TIGHTEN RATTLING COMPONENTS ETC)
  - ALL PLANT & EQUIPMENT TO BE OPERATED IN THE CORRECT MANNER TO AVOID UNNECESSARY NOISE EMISSIONS
  - ALL DELIVERIES TO SITE TO BE IN ACCORD WITH THE RELEVANT CONSTRUCTION TRAFFIC MANAGEMENT PLAN (CTMP)
  - NO PUBLIC ADDRESS SYSTEMS TO BE USED EXCEPT IN THE CASE OF EMERGENCIES
  - WHERE NECESSARY, FIT PLANT WITH SILENCERS AND/OR OTHER NOISE ATTENUATION MEASURES
  - ENSURE CONSTRUCTION VEHICLES AND PLANT/EQUIPMENT ARE TURNED OFF WHEN NOT IN USE (I.E. AVOID IDLING)

- VIBRATION MANAGEMENT
- USE LOW-VIBRATION EMITTING PLANT & EQUIPMENT WHERE POSSIBLE
  - WHERE PRACTICAL, USE NON-PERCUSSIVE PILING TECHNIQUES OR PROVIDE ACCOUSTIC SHIELDING

- DUST CONTROL
- WHERE POSSIBLE, STAGE ANY VEGETATION REMOVAL TO MINIMISE EXPOSED AREAS
  - AREAS EXPOSED (IN THE SHORT TERM) TO BE STABILISED USING WATERING AND/OR GEO-FABRICS AS APPROPRIATE TO MINIMISE DUST GENERATION
  - MODIFY / REDUCE CONSTRUCTION ACTIVITIES DURING HIGH WIND CONDITIONS IF INCREASED DUST GENERATION IS A POSSIBILITY
  - DUST CONTROL MEASURES TO BE IMPLEMENTED AS THE SITE SUPERVISOR DEEMS APPROPRIATE, INCLUDING WATER CARTS, SPRINKLERS, SPRAYS, DUST SCREENS, ETC
  - CHECK EROSION CONTROL MEASURE REGULARLY TO ENSURE CAPTURED SILT DOES NOT BECOME AIRBORNE

- ODOUR CONTROL
- SEGRATE AND COLLECT WASTE REGULARLY TO ENSURE ODOURS ARE MINIMISED
  - NO BURNING-OFF OF WASTE AT ANY TIME
  - REMOVE WASTE BINS FROM SITE REGULARLY

REV.	DATE	BY	DESCRIPTION
3	08.10.2024	JPS	STAGE C ISSUE
2	05.08.2024	JPS	PRELIMINARY ISSUE
1	09.07.2024	JPS	STAGE C ISSUE

PROPOSED DEVELOPMENT

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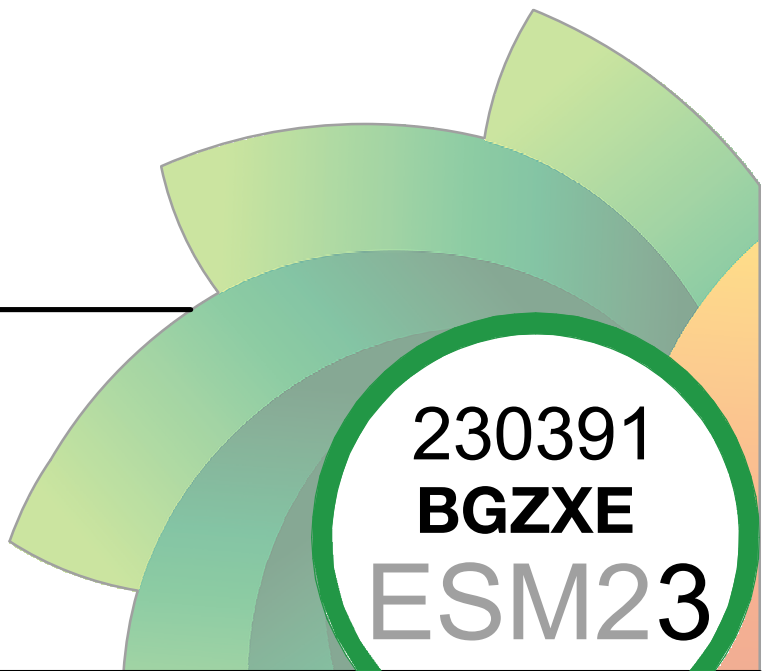
DKT Studio



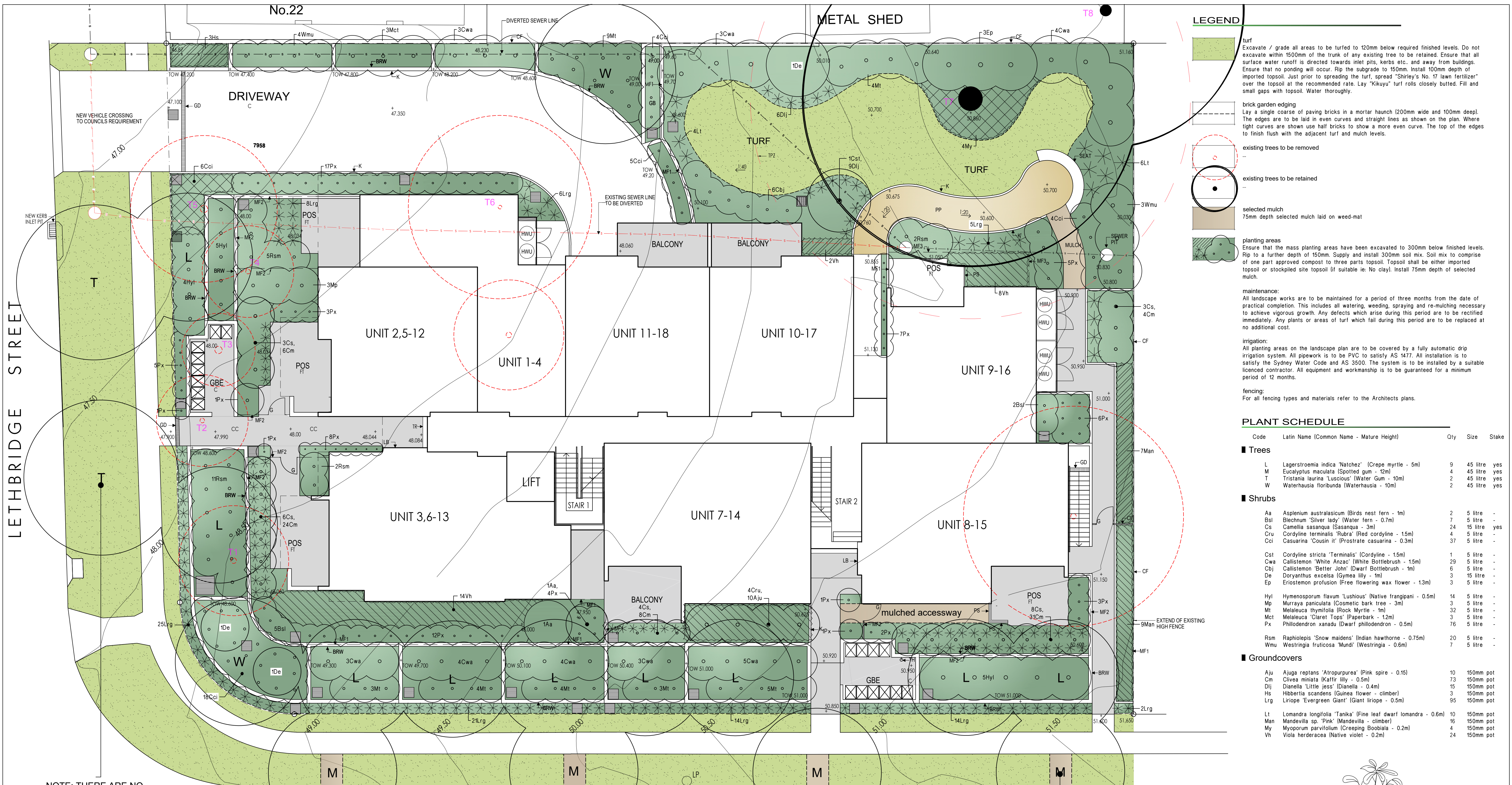
DESIGN: JC | DRAWN: JC | CHECKED: AMcK | SIZE: A1 | SCALE: 1 : 100

CIVIL DESIGN

ENVIRONMENTAL SITE MANAGEMENT PLAN







NOTE: THERE ARE NO OVERHEAD WIRES ON LETHBRIDGE STREET SO THERE IS OPPORTUNITY TO PLANT LARGE STREET TREES

NOTE: THERE ARE OVERHEAD WIRES ON STAPLETON PARADE SO THERE IS ONLY OPPORTUNITY FOR SMALL STREET TREES

